

Site Plans

Issued for	Permits
Date Issued	June 16, 2023
Latest Issue	November 8, 2023

Milton CAT

2110 Plainfield Pike
Cranston, Rhode Island



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Owner

William A and Sheila M Simas
2788 Plainfield Pike
Cranston, RI 02921-2070
Lori Cardillo, Administratrix Of The Estate

Applicant

Southworth Milton dba
Milton CAT
100 Quarry Drive
Milford, MA 01757

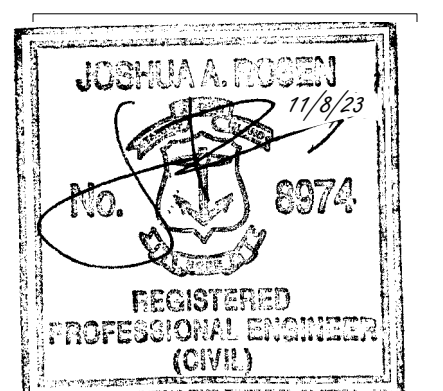
Assessor's Map: 35
Lot: 9

Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	June 16, 2023
C2.01	Layout and Materials Plan	November 8, 2023
C3.01	Grading and Drainage Plan	November 8, 2023
C4.01	Utility Plan	November 8, 2023
C5.01	Site Details 1	November 8, 2023
C5.02	Site Details 2	October 5, 2023
C5.03	Site Details 3	August 22, 2023
SESC-1	Erosion and Sedimentation Control Plan 1	October 5, 2023
SESC-2	Erosion and Sedimentation Control Plan 2	June 16, 2023
L1.01	Planting Plan	November 8, 2023
L2.01	Planting Details	June 16, 2023
L2.02	Planting Details	June 16, 2023
SL 1.01	Site Lighting	August 22, 2023

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Property line Existing Conditions Plan	October 14, 2022
LOC-1	Locus Plan	June 16, 2023





1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like Property Line, Building, Parking, etc.

Abbreviations

Abbreviations table with columns: General, Utility, and descriptions for terms like ABAN, ACR, ADJ, etc.

Notes

- General
1. CONTRACTOR SHALL NOTIFY 'DIG-SAFE' (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
...
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PRECAST CONCRETE (PCC), BITUMINOUS BERM (BB) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
...
7. BITUMINOUS CONCRETE DRIVEWAY MODIFIED CLASS 12.5 HMA 12" GRAVEL BORROW SUBBASE COURSE

Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
...
5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE.

Erosion Control

- 1. SEE SESC PLANS AND DETAILS.

Existing Conditions Information

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER 2022. AND FROM DEEDS AND PLANS OF RECORDS. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. IN OCTOBER 2022. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB, INC. IN OCTOBER, 2022.
B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: AND FIELD SURVEYED BY VHB IN OCTOBER, 2022.
2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NGVD OF 1988.
3. TEST PIT LOCATIONS AND ELEVATIONS WERE OBTAINED FROM ON-SITE SOIL TEST PITS PERFORMED BY VHB, INC. ON OCTOBER 27, 2022.

Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

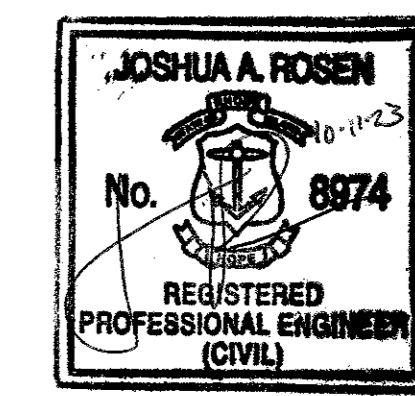
Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

Table with columns: No., Revision, Date, Apprd.

Table with columns: Designed by (ER), Checked by (JR), Issued for (Permits), Date (June 16, 2023)

Not approved for Construction

Legend and General Notes

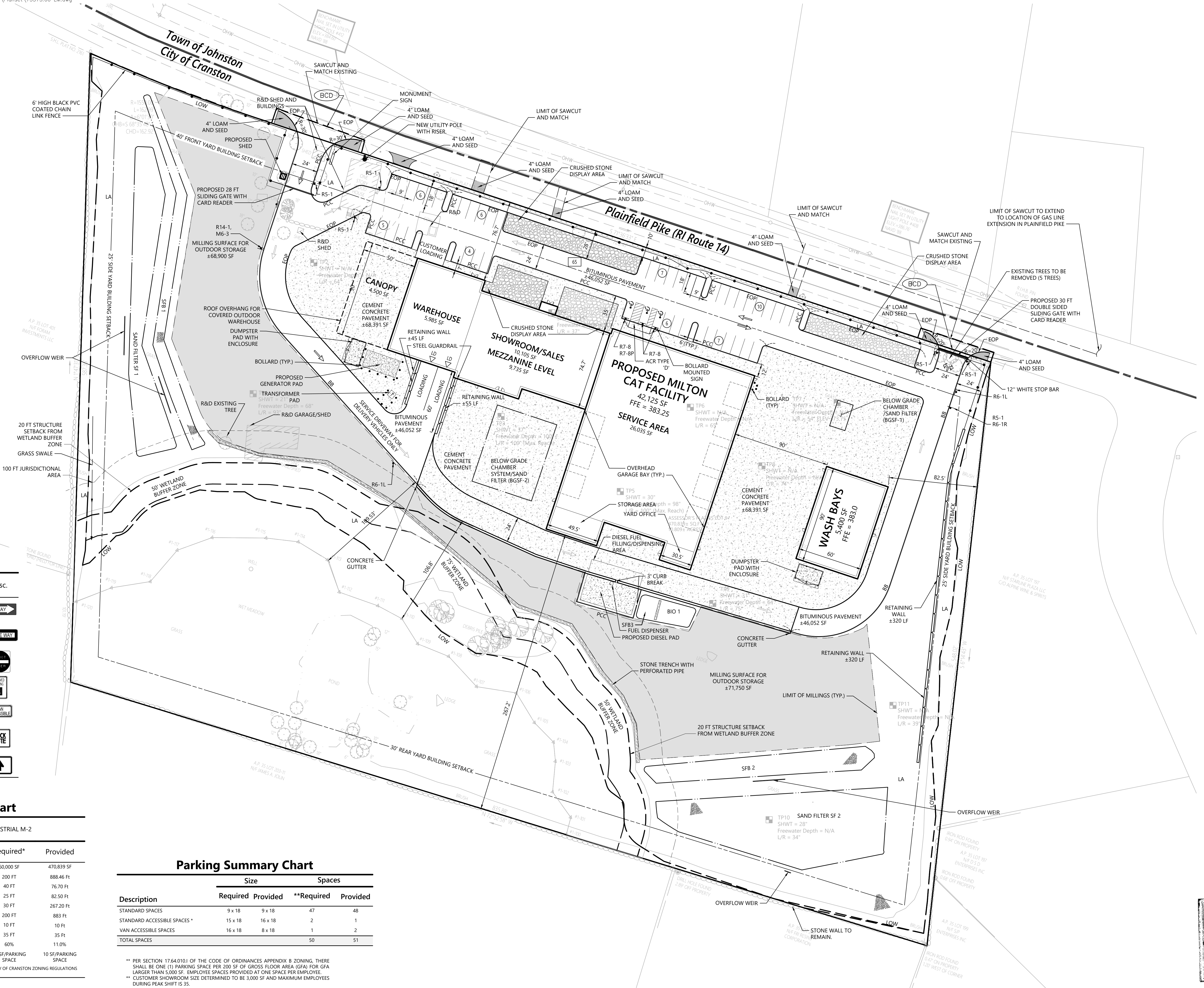


Drawing Number

C1.01

Sheet 1 of 7

Project Number 73375.00



Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R6-1R	36"	12"	ONE WAY
R6-1L	36"	12"	ONE WAY
R5-1	30"	30"	NO STOP
R7-8	12"	18"	BIPOLE SIGN
R7-8P	12"	6"	VAN ACCESSIBLE
R14-1	24"	18"	TRUCK ROUTE
M6-3	24"	18"	UP ARROW

Zoning Summary Chart

Zoning District:	INDUSTRIAL M-2	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	60,000 SF	470,839 SF
FRONTAGE	200 FT	888.46 Ft
FRONT YARD SETBACK	40 FT	76.70 Ft
SIDE YARD SETBACK	25 FT	82.50 Ft
REAR YARD SETBACK	30 FT	267.20 Ft
MINIMUM LOT WIDTH	200 FT	883 Ft
PARKING SETBACK - FROM ROW	10 FT	10 Ft
MAXIMUM BUILDING HEIGHT	35 FT	35 Ft
MAXIMUM BUILDING LOT COVERAGE	60%	11.0%
MINIMUM INTERIOR ISLAND	10 SF/PARKING SPACE	10 SF/PARKING SPACE

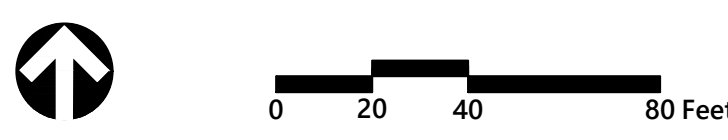
* ZONING REGULATION REQUIREMENTS AS SPECIFIED IN CITY OF CRANSTON ZONING REGULATIONS CREATED FROM MUNICOD 2022-09-12

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	**Required	Provided
STANDARD SPACES	9 x 18	9 x 18	47	48
STANDARD ACCESSIBLE SPACES *	15 x 18	16 x 18	2	1
VAN ACCESSIBLE SPACES	16 x 18	8 x 18	1	2
TOTAL SPACES			50	51

** PER SECTION 17.64.0101 OF THE CODE OF ORDINANCES APPENDIX B ZONING, THERE SHALL BE ONE (1) PARKING SPACE PER 200 SF OF GROSS FLOOR AREA (GFA) FOR GFA LARGER THAN 5,000 SF. EMPLOYEE SPACES PROVIDED AT ONE SPACE PER EMPLOYEE.
** CUSTOMER SHOWROOM SIZE DETERMINED TO BE 3,000 SF AND MAXIMUM EMPLOYEES DURING PEAK SHIFT IS 35.

NOTE:
ALL WORK TO BE DONE WITHIN THE STATE HIGHWAY RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 EDITION WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.

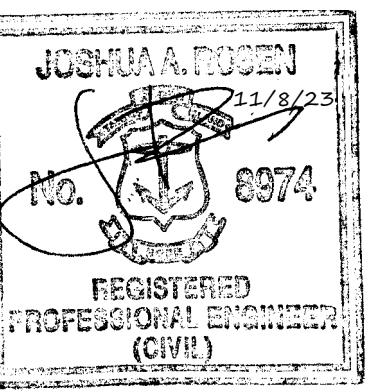


Milton CAT 2110 Plainfield Pike Cranston, Rhode Island

No.	Revision	Date	Appr.
1	RIDOT PAPA Response to Comments	8/22/2023	
2	RIDEM Comments	10/05/2023	
4	RIDEM Comments	11/08/2023	

Designed by: ER
Checked by: JR
Issued for: Permits
Date: June 16, 2023

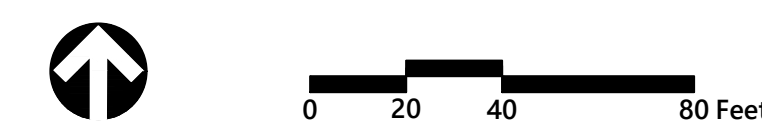
Not approved for Construction
Drawing Title: Layout and Materials Plan
Drawing Number: C2.01



C2.01

Sheet 2 of 7

Project Number: 73375.00



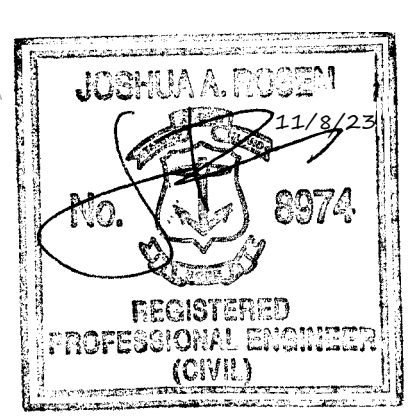
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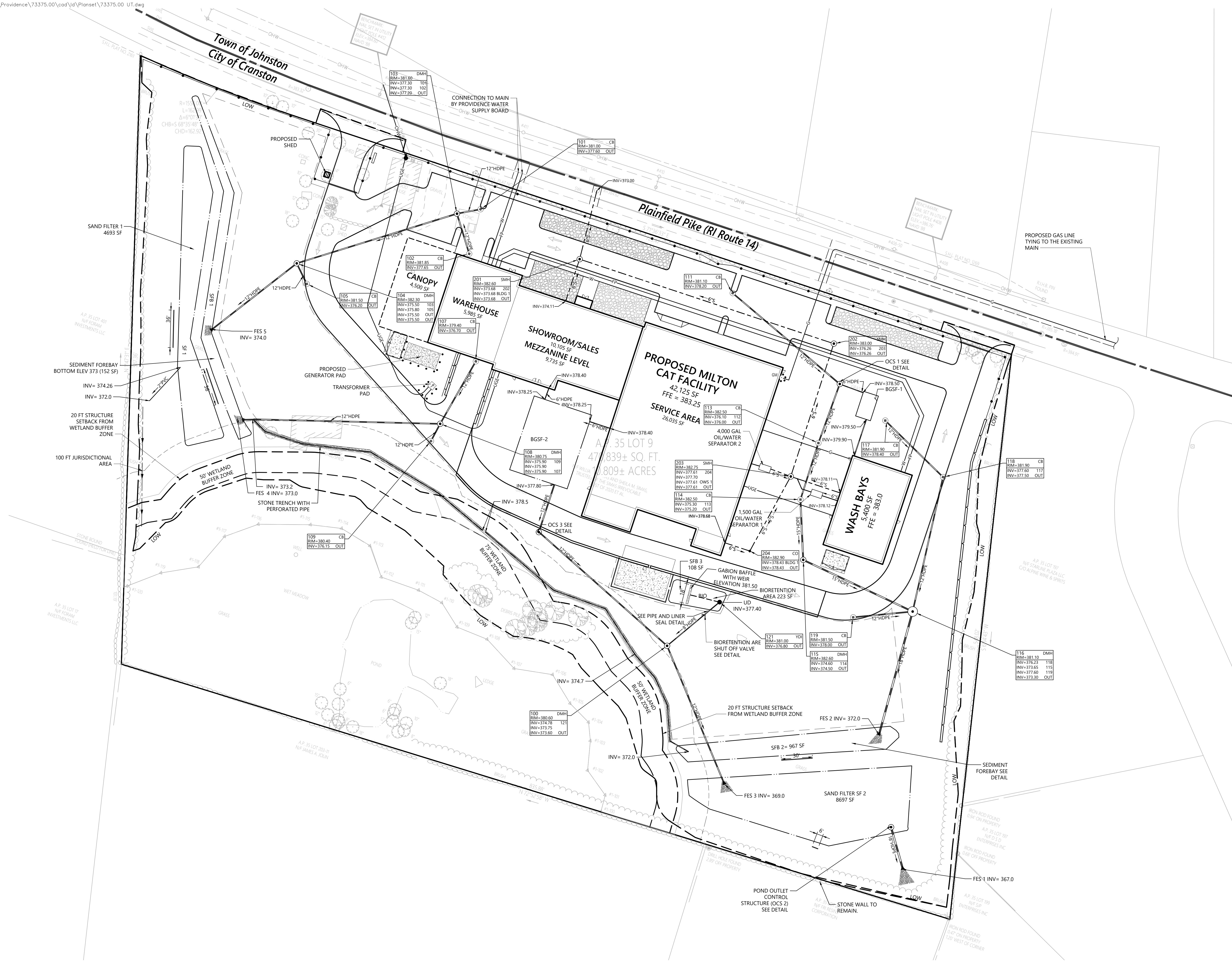
Designed by **ER** Checked by **JR**
Issued for **Permits** Date **June 16, 2023**

Not approved for Construction
Drawing Title **Grading and Drainage Plan**
Drawing Number

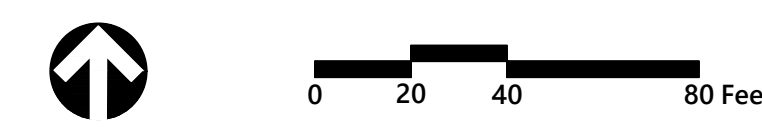


C3.01

Sheet 3 of 7



NOTE:
WITH RESPECT TO UTILITY WORK (SEWER, WATER, GAS, ELECTRIC) WITHIN THE STATE HIGHWAY RIGHT-OF-WAY (ROW), THE APPLICANT IS REMINDED THAT THIS APPLICATION IS NOT A SUBSTITUTE FOR A UTILITY PERMIT(S) AND FURTHER THAT APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UNSHOWN, WITHIN THE STATE HIGHWAY ROW.



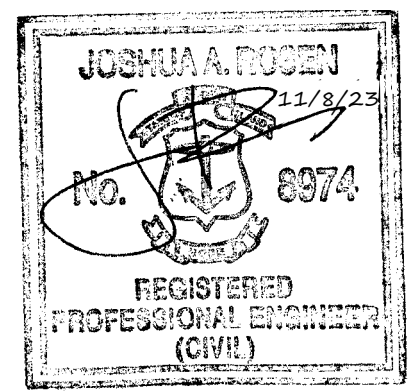
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Designed by: **ER** Checked by: **JR**
Issued for: **Permits** Date: **June 16, 2023**

Not approved for Construction
Drawing Title: **Utility Plan**
Drawing Number: **C4.01**

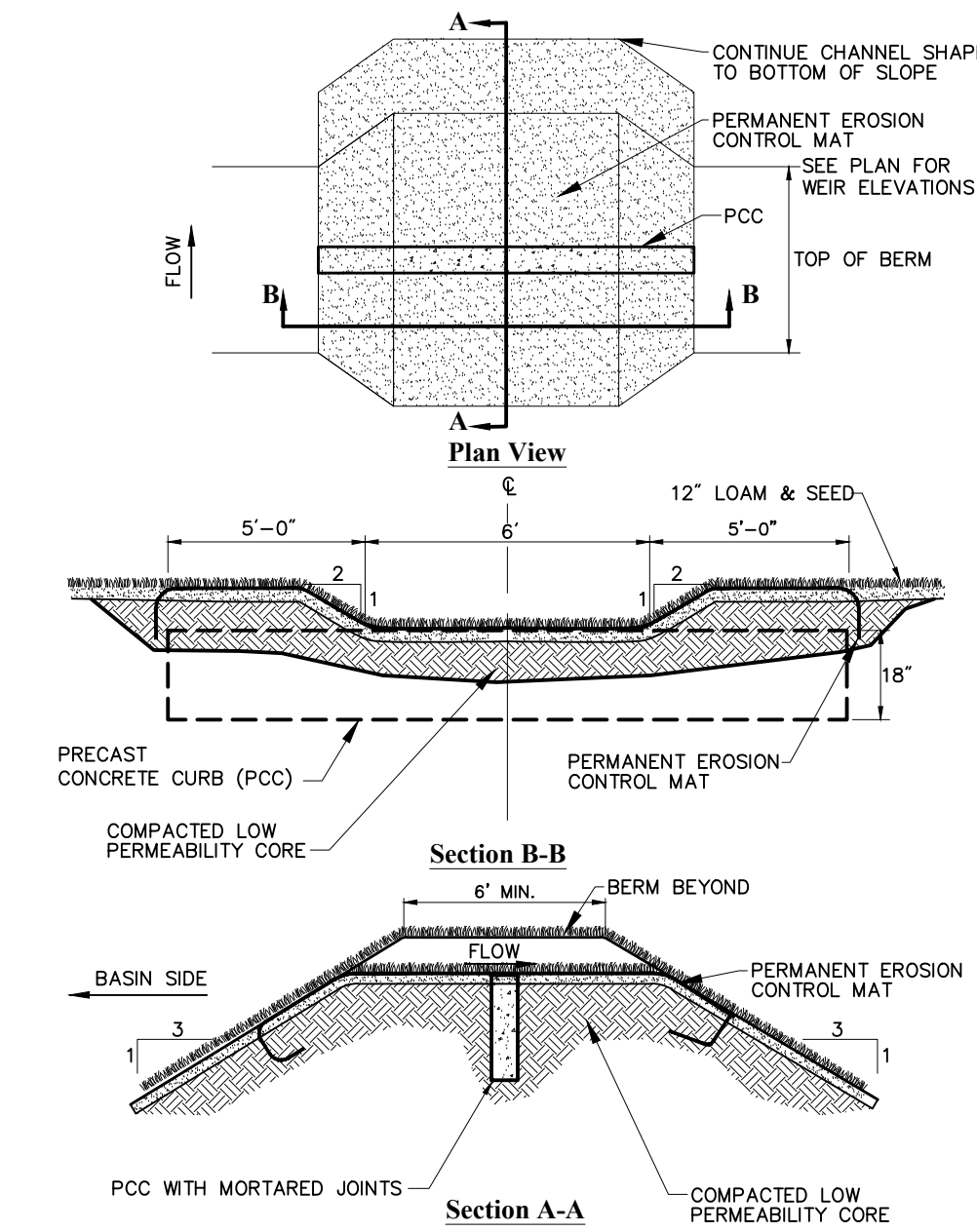


C4.01
Sheet 4 of 7

Project Number: **73375.00**

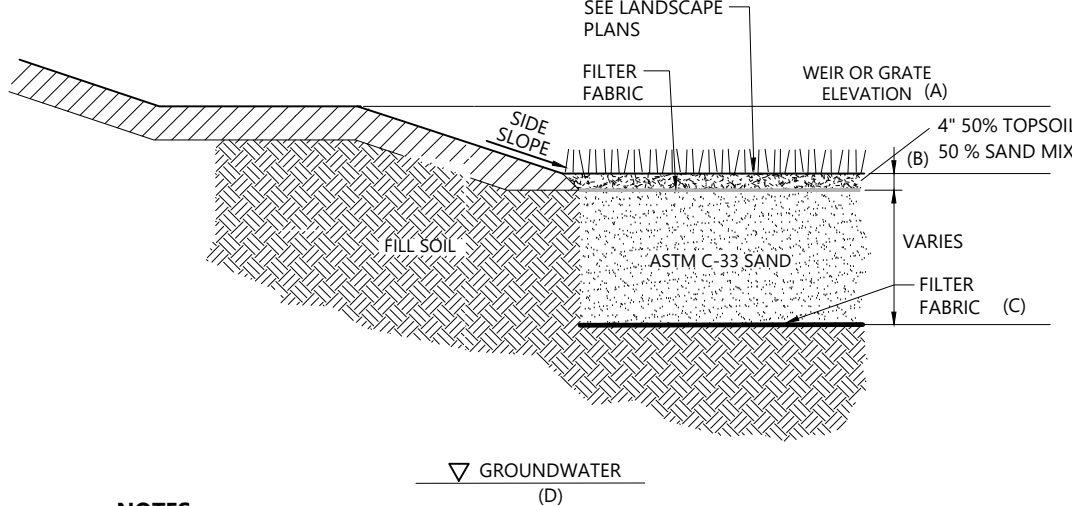


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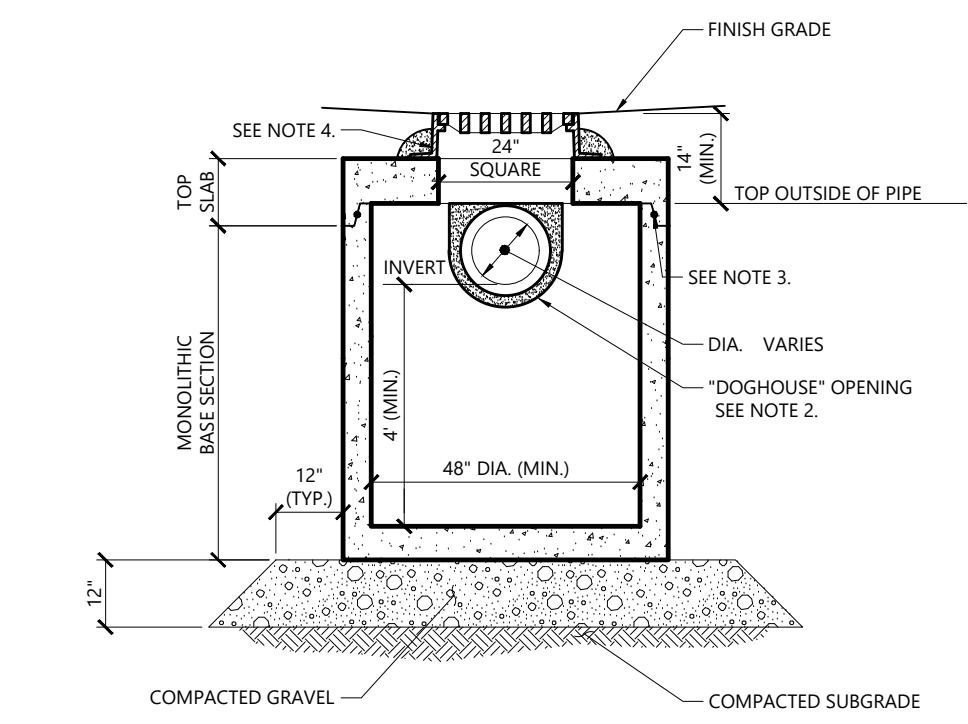
Overflow Weir
N.T.S. Source: VHB REV LD_161

ELEVATIONS		
	SF 1	SF 2
A	375.2 WEIR	370.6
B	374.0	369.0
C	372.5	366.0
D	TP1 369.75	TP10 365.0
	1.5'	3'
SIDE SLOPE	3:1	3:1
EX. GRADE	376-370	368-366



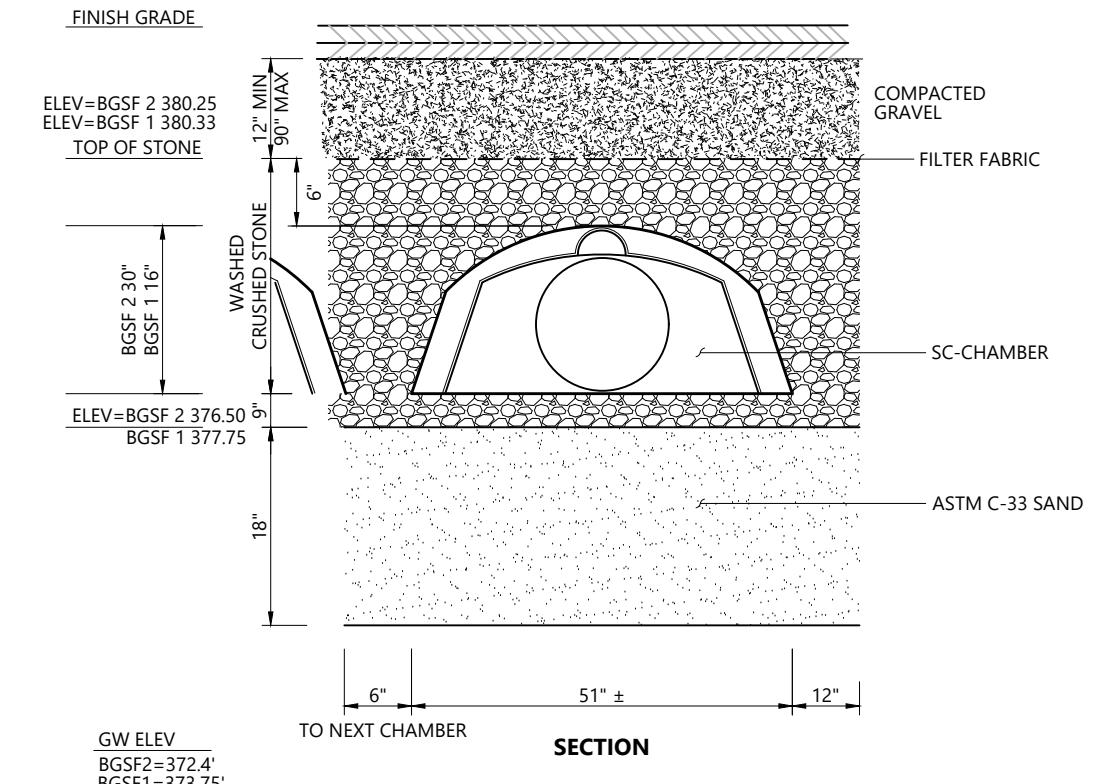
- NOTES**
- FILL SOIL BELOW THE SAND FILTER SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD M01.02 AND M01.09 COLUMN 1A. THE FILL SOIL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557, METHOD D.
 - THE TOP 12" OF EXISTING SOIL SHALL BE REMOVED PRIOR TO PLACING FILL SOIL.

Sand Filter
N.T.S. Source: VHB REV LD_350



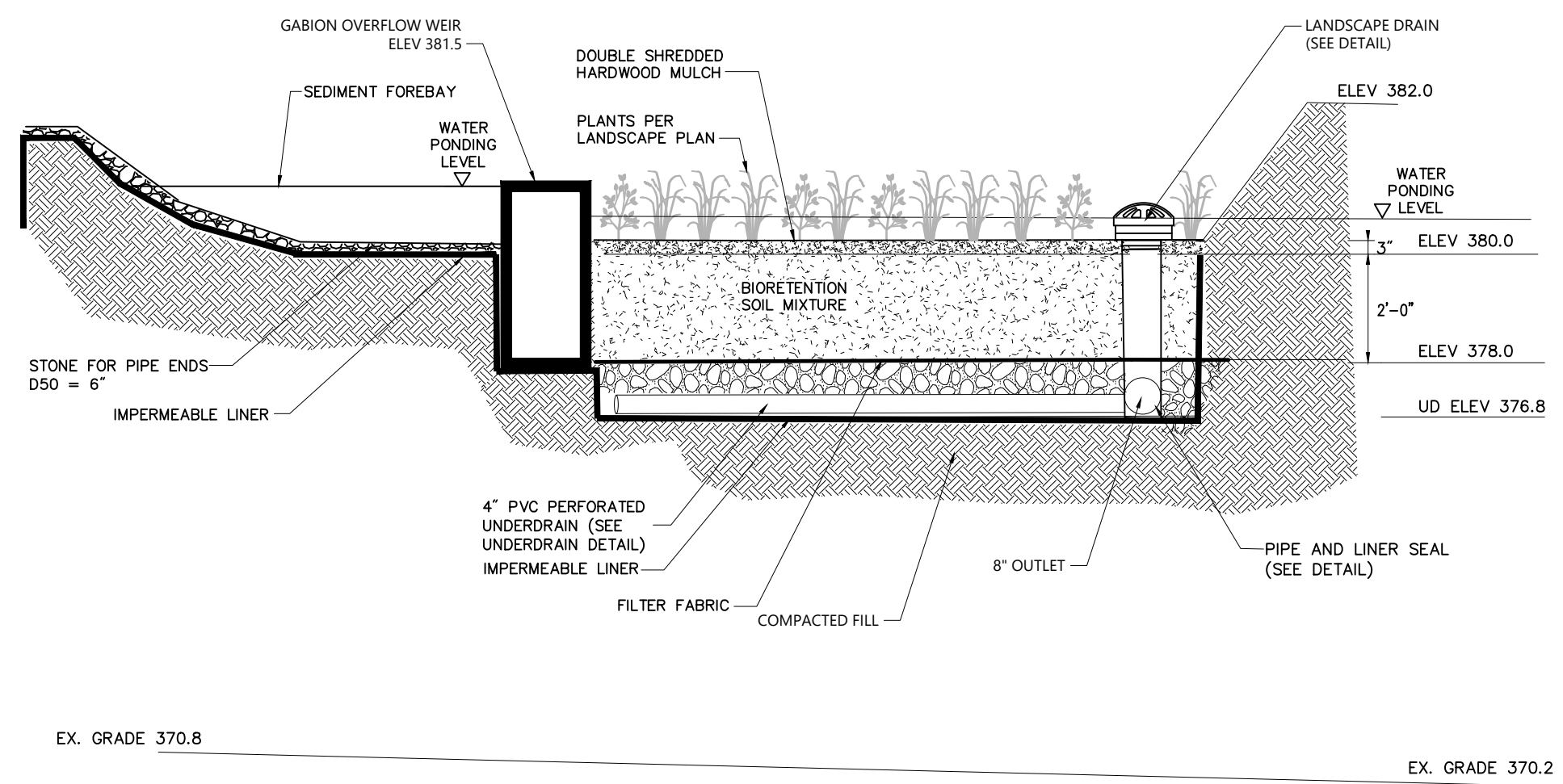
- NOTES**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 - PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
 - ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.

Catch Basin (CB) Shallow Cover
N.T.S. Source: VHB REV LD_104



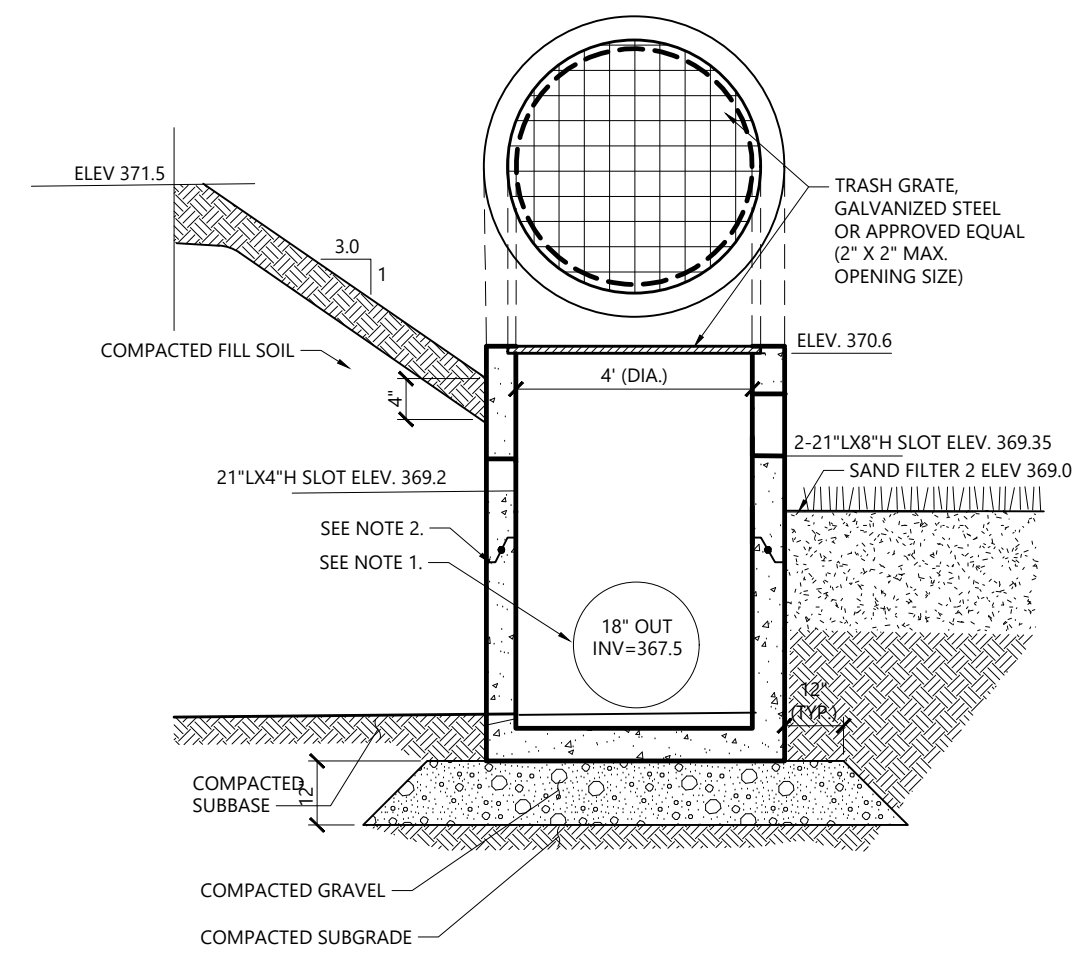
- NOTE**
- ALL DIMENSIONS AND INSTALLATION PROCEDURES MUST BE IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS APPROVED BY ENGINEER.
BGSF 1 USE STORMTECH CHAMBER SC-310 / 4 ROWS, 3 CHAMBERS PER ROW
BGSF 2 USE STORMTECH CHAMBER SC-740 / 12 ROWS, 10 CHAMBERS PER ROW

Below Grade Sand Filter / Header System
N.T.S. Source: VHB REV LD_183



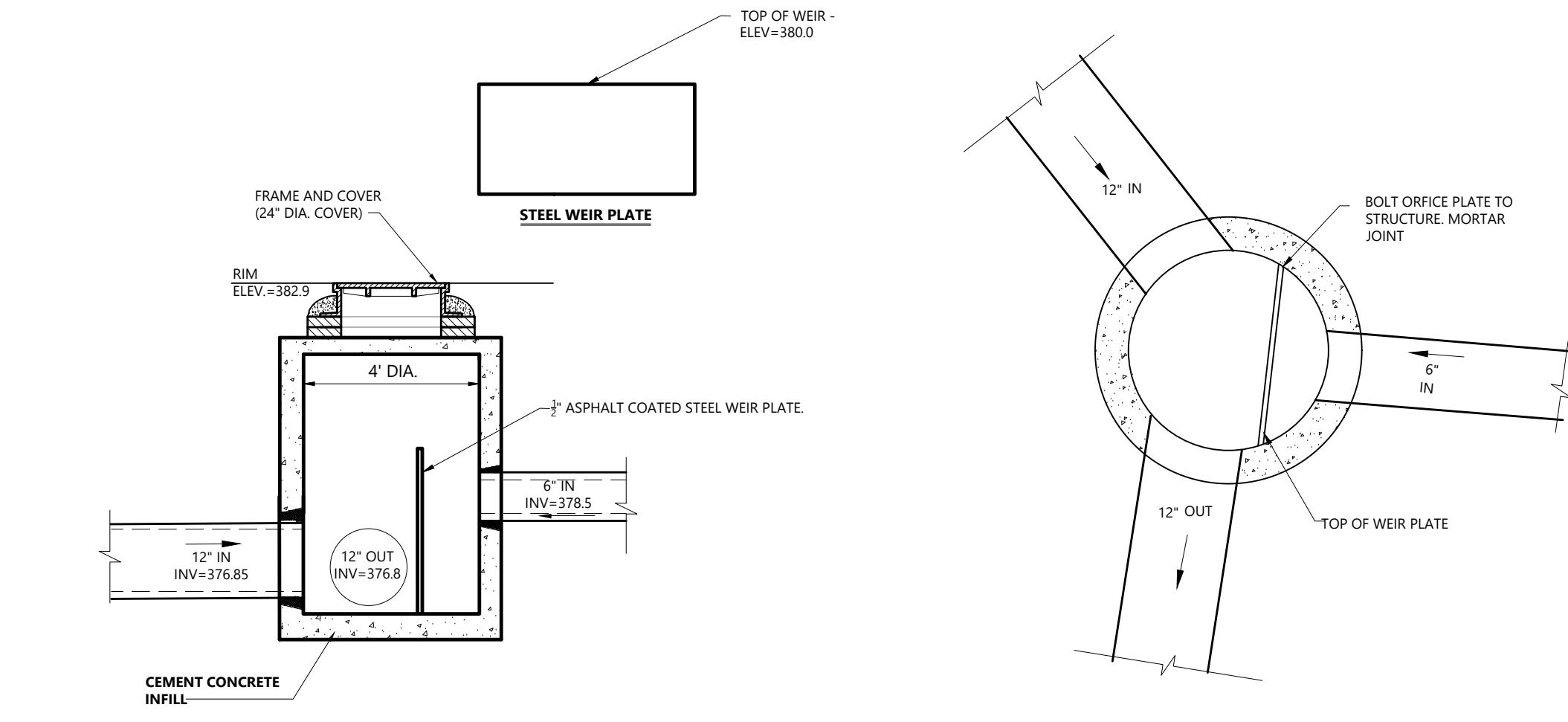
- NOTES**
- CONNECT TO DRAINS PER PLAN.
 - SIDE SLOPES SHALL BE 3:1 MAX. 2% MIN.

Bioretention With Sediment Forebay
N.T.S. Source: VHB REV LD_163



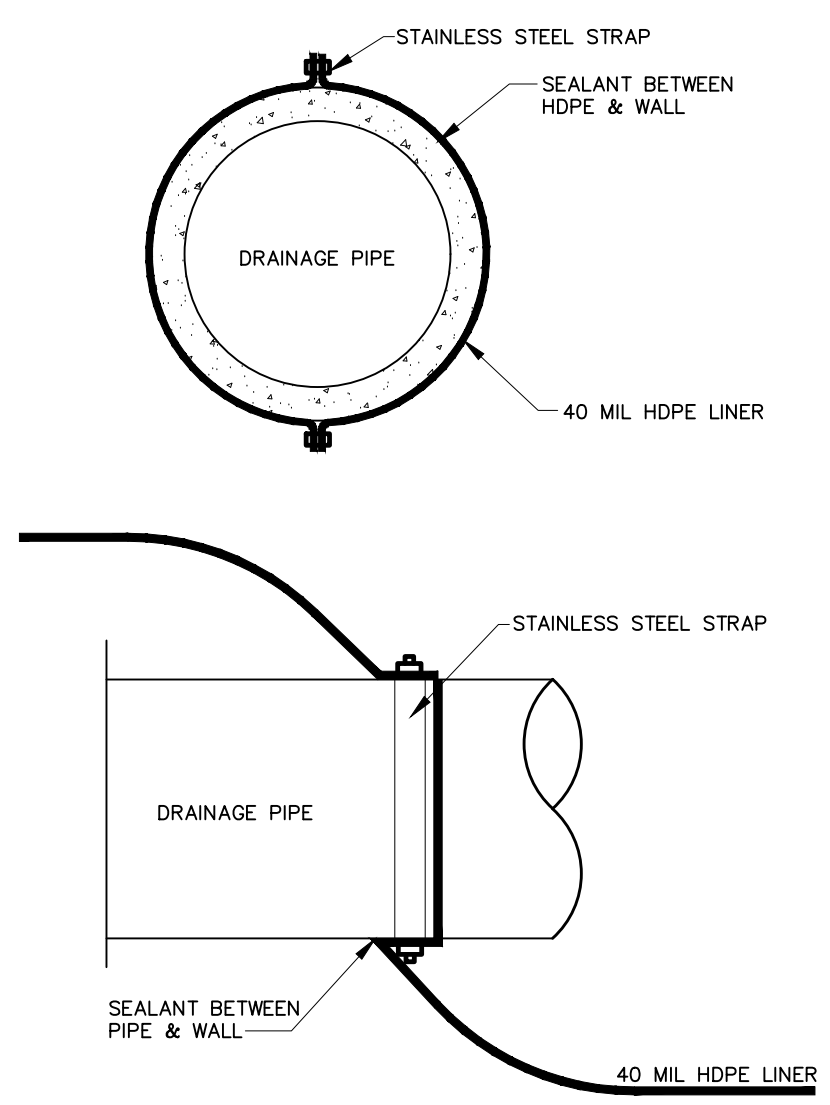
- NOTES**
- PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.

Pond Outlet Control Structure (OCS 2)
N.T.S. Source: VHB REV LD_163

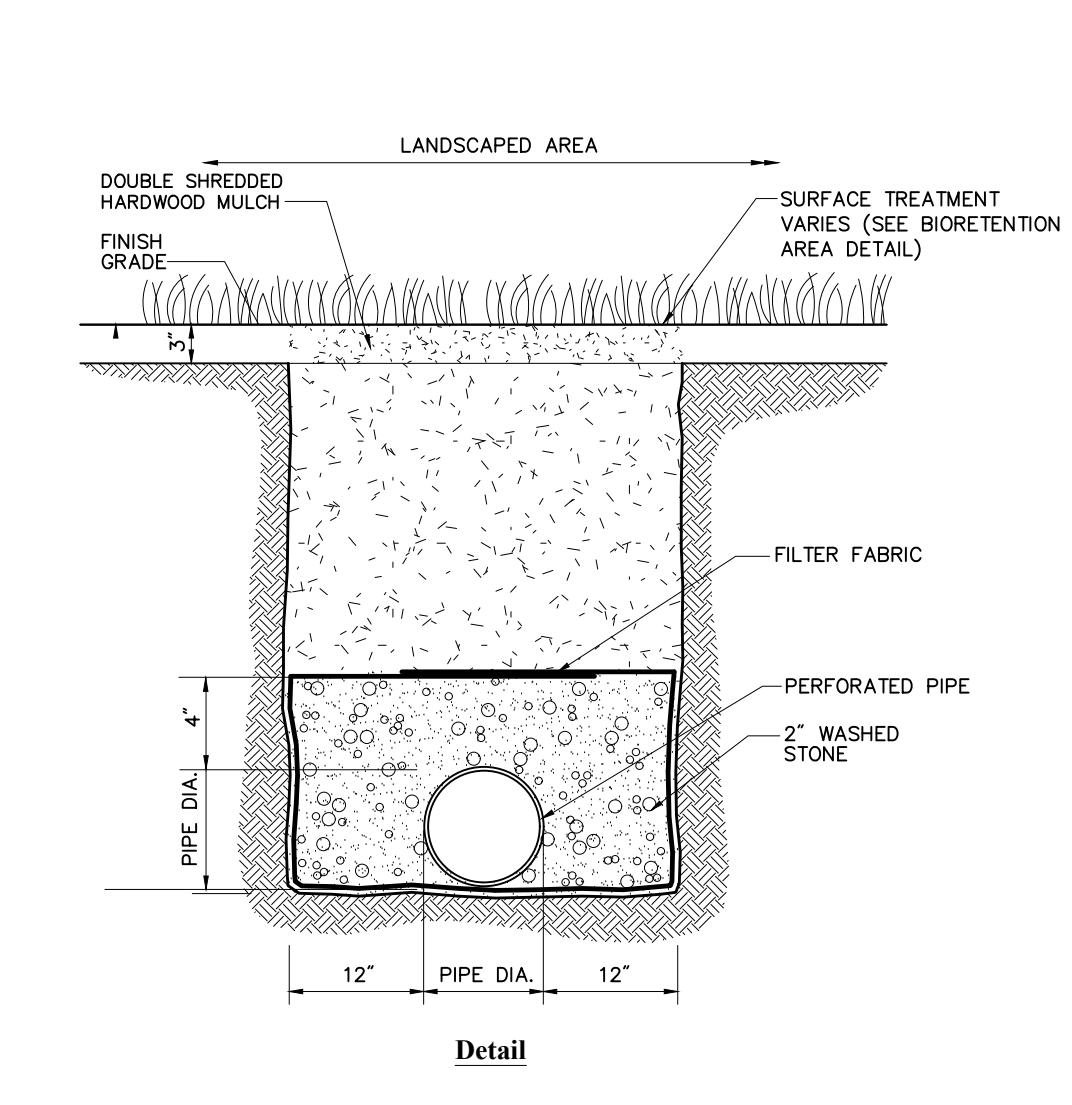


- 1.** DIAGRAM PROVIDED FOR CLARIFICATION OF OUTLET CONTROL COMPONENTS. REFER TO DRAIN MANHOLE (DMH) DETAIL FOR FURTHER DETAIL.

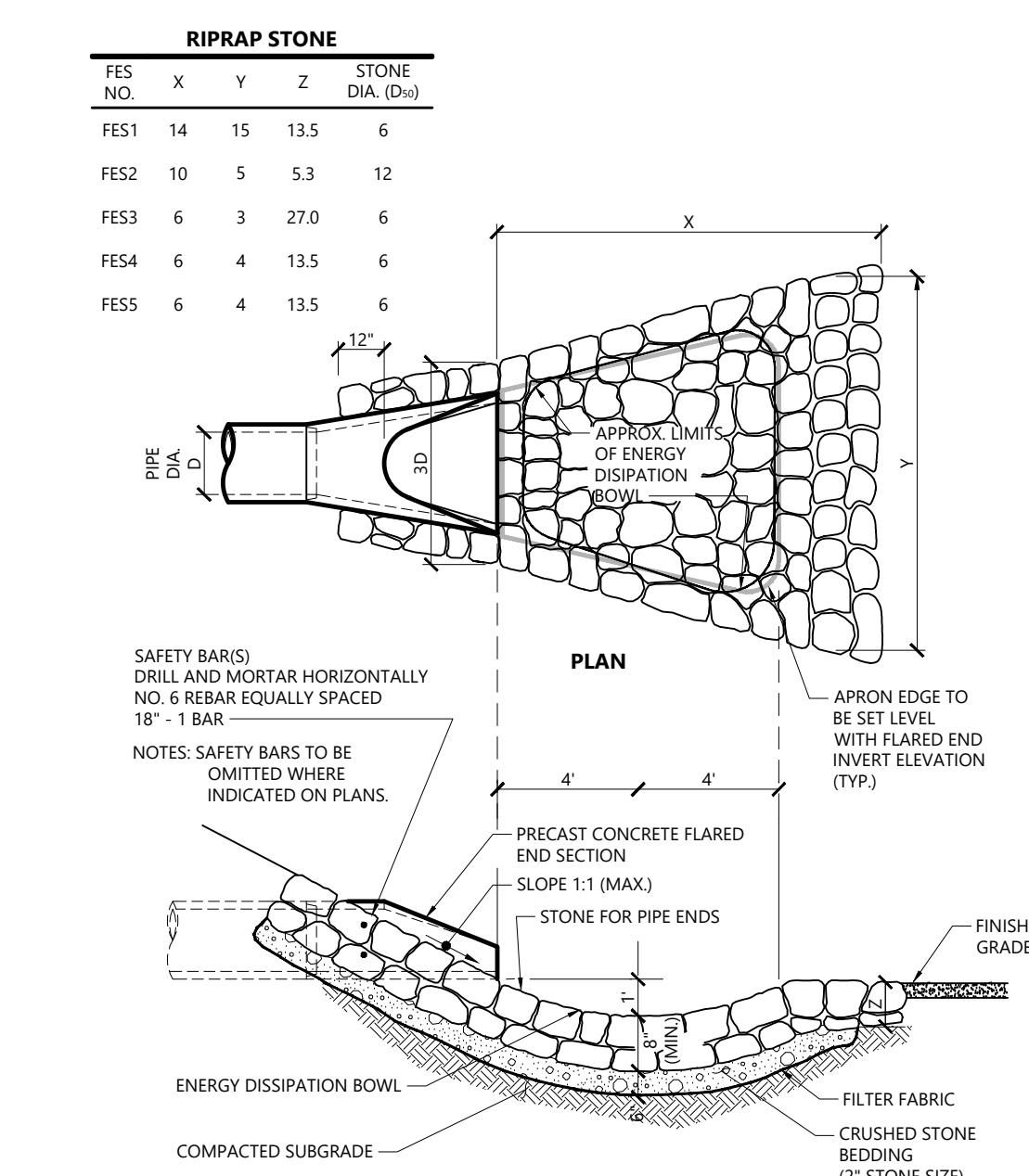
Outlet Control Structure (OCS 1)
N.T.S. Source: VHB



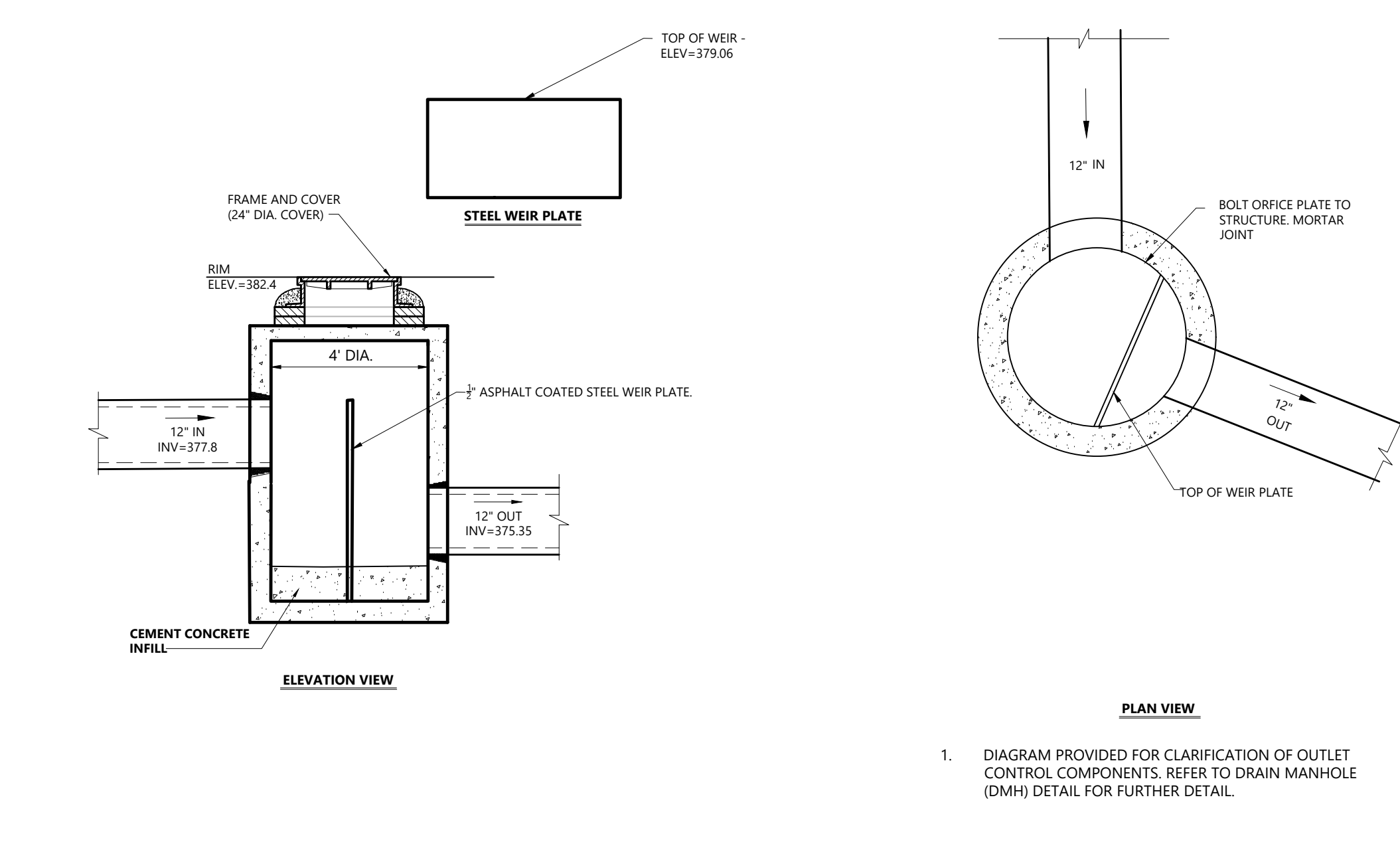
Pipe and Liner Seal
N.T.S. Source: VHB REV LD_115



Underdrain (UD) Detail
N.T.S. Source: VHB REV LD_184



Flared End Section (FES) with Stone Protection
N.T.S. Source: VHB REV LD_134



- 1.** DIAGRAM PROVIDED FOR CLARIFICATION OF OUTLET CONTROL COMPONENTS. REFER TO DRAIN MANHOLE (DMH) DETAIL FOR FURTHER DETAIL.

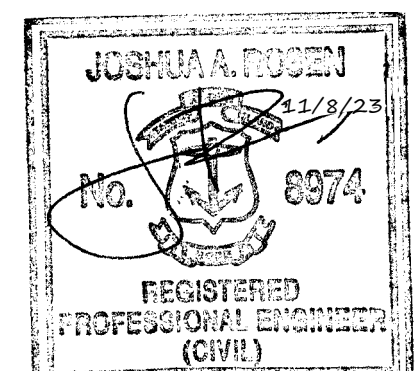
Outlet Control Structure (OCS-3)
N.T.S. Source: VHB

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Drawing Title Site Details 1
Drawing Number

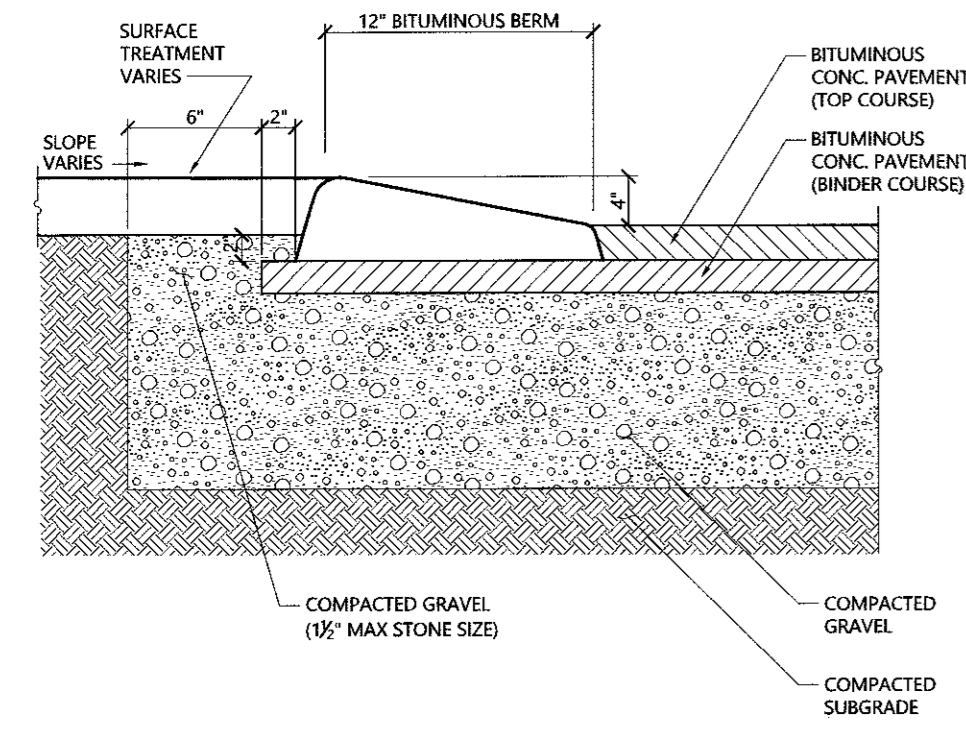


C5.01
Sheet 5 of 7

Project Number 73375.00

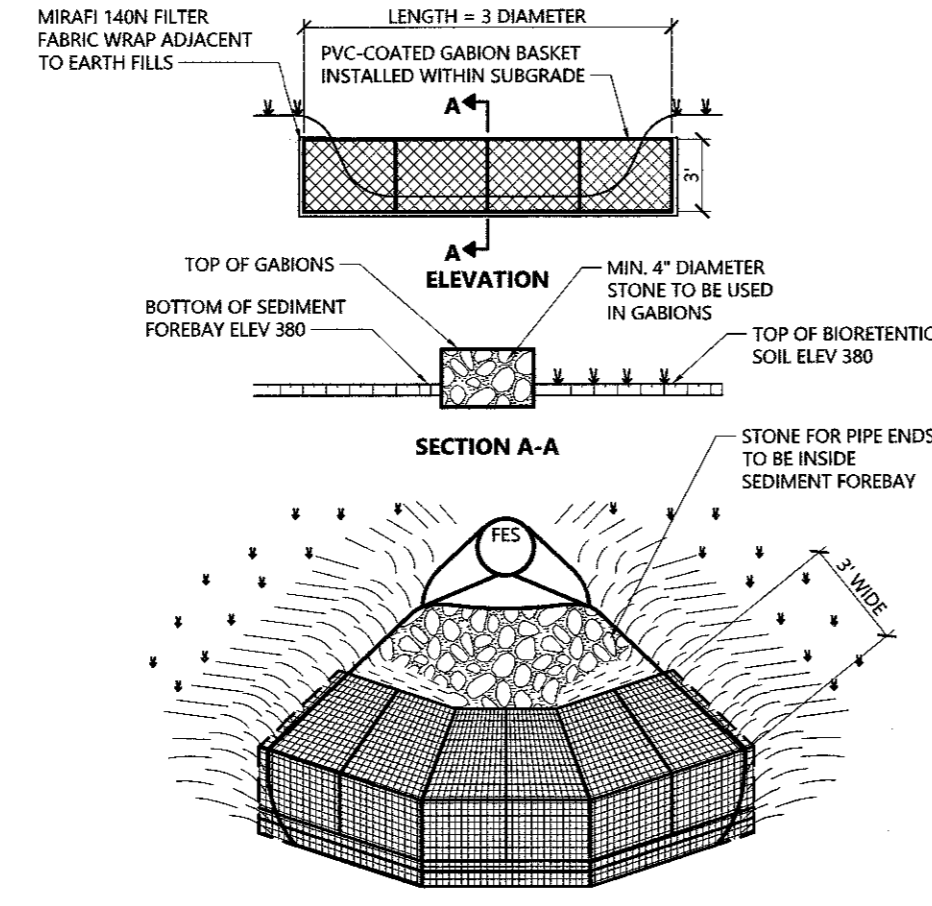


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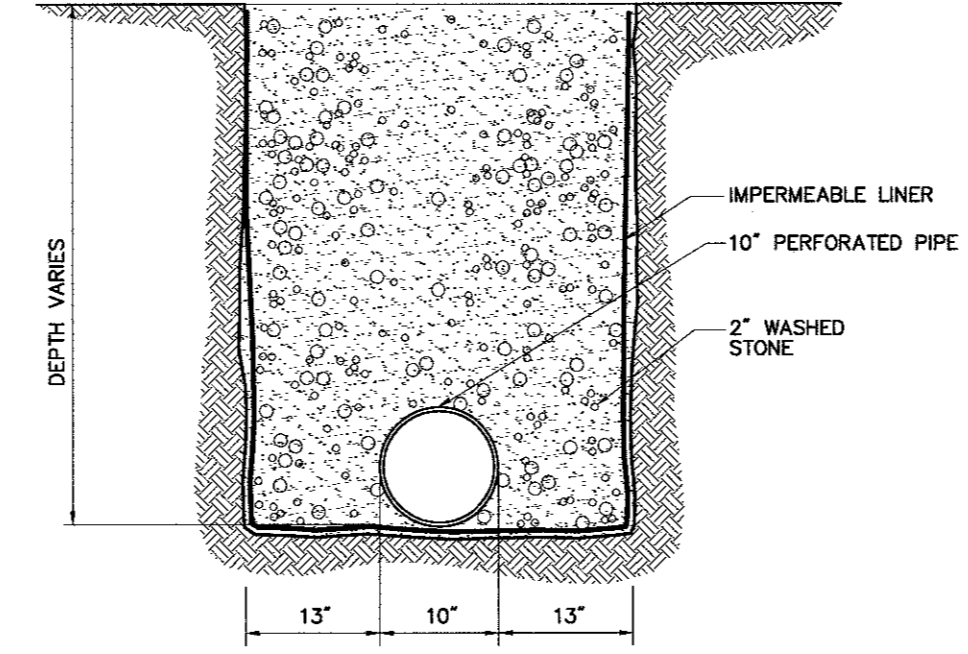
NOTES
ALL CURBING TO BE MACHINE EXTRUDED

Bituminous Berm (BB) 1/16
N.T.S. Source: VHB REV LD_407



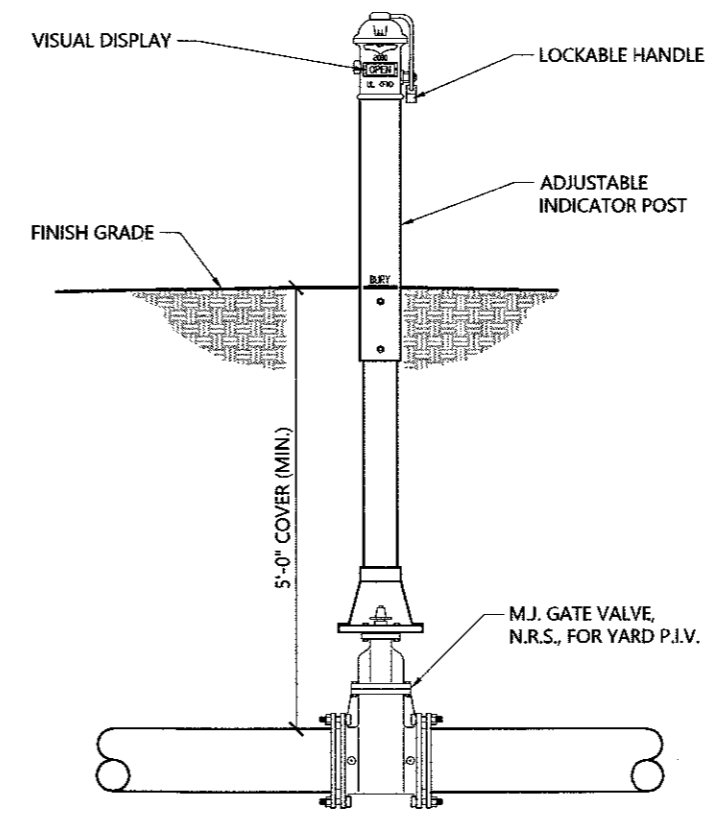
SEE GRADINGS AND DRAINAGE PLANS FOR VOLUME AND DEPTH INFORMATION

Sediment Forebay with Gabion Baffles 1/16
N.T.S. Source: VHB REV LD_166



Detail

Stone Trench with Perforated Pipe 1/16
N.T.S. Source: VHB REV LD_407

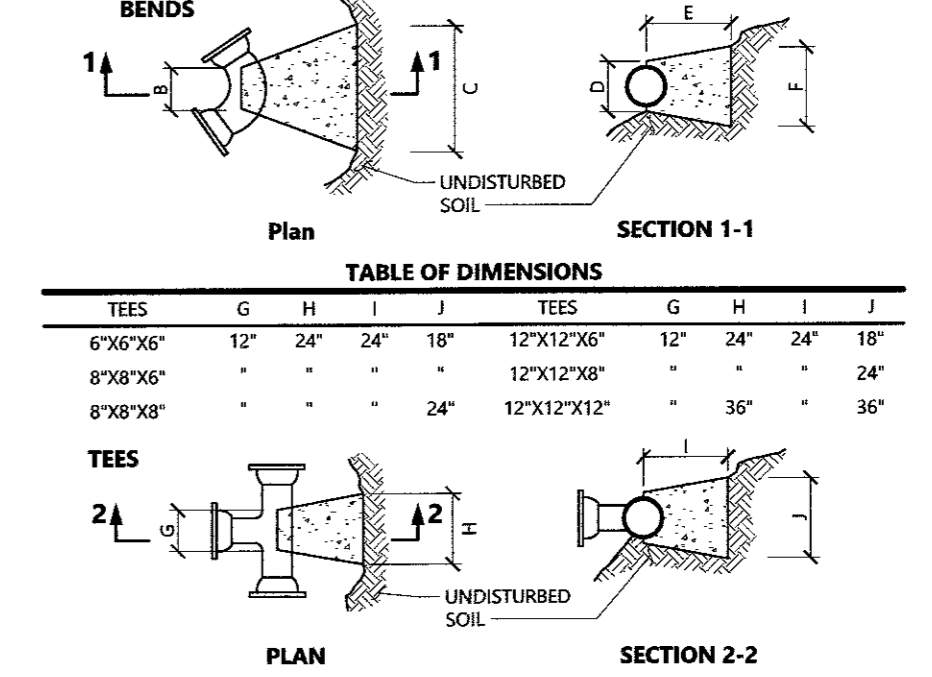


NOTES
1. USE FOR "PIV" DESIGNATION ON PLAN SHEETS. SEE DRAWINGS FOR DIAMETERS.

Bioretention Area Shut Off Valve (PIV) 1/16
N.T.S. Source: VHB REV LD_267

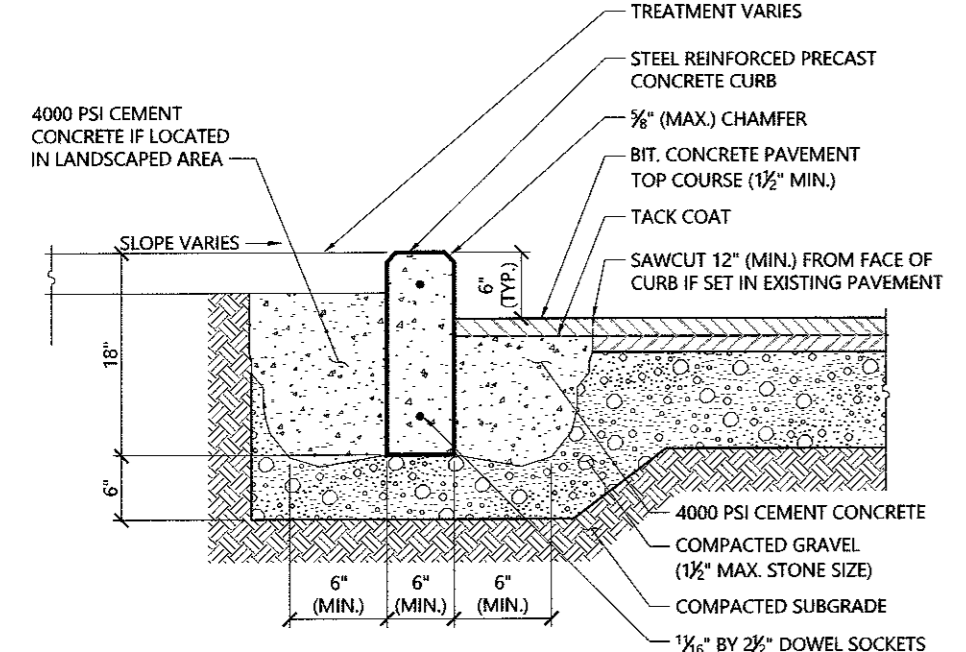
TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/2"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"	14"
6" 22 1/2"	-	19"	-	13"	6" 90"	-	30"	-	-	-	27"
8" 11 1/2"	-	20"	-	12"	8" 45"	-	30"	-	-	-	24"
8" 22 1/2"	-	22"	-	17"	8" 90"	-	38"	-	-	-	36"
12" 11 1/2"	-	30"	-	15"	12" 45"	-	40"	-	-	-	40"
12" 22 1/2"	-	35"	-	25"	12" 90"	-	60"	-	-	-	52"

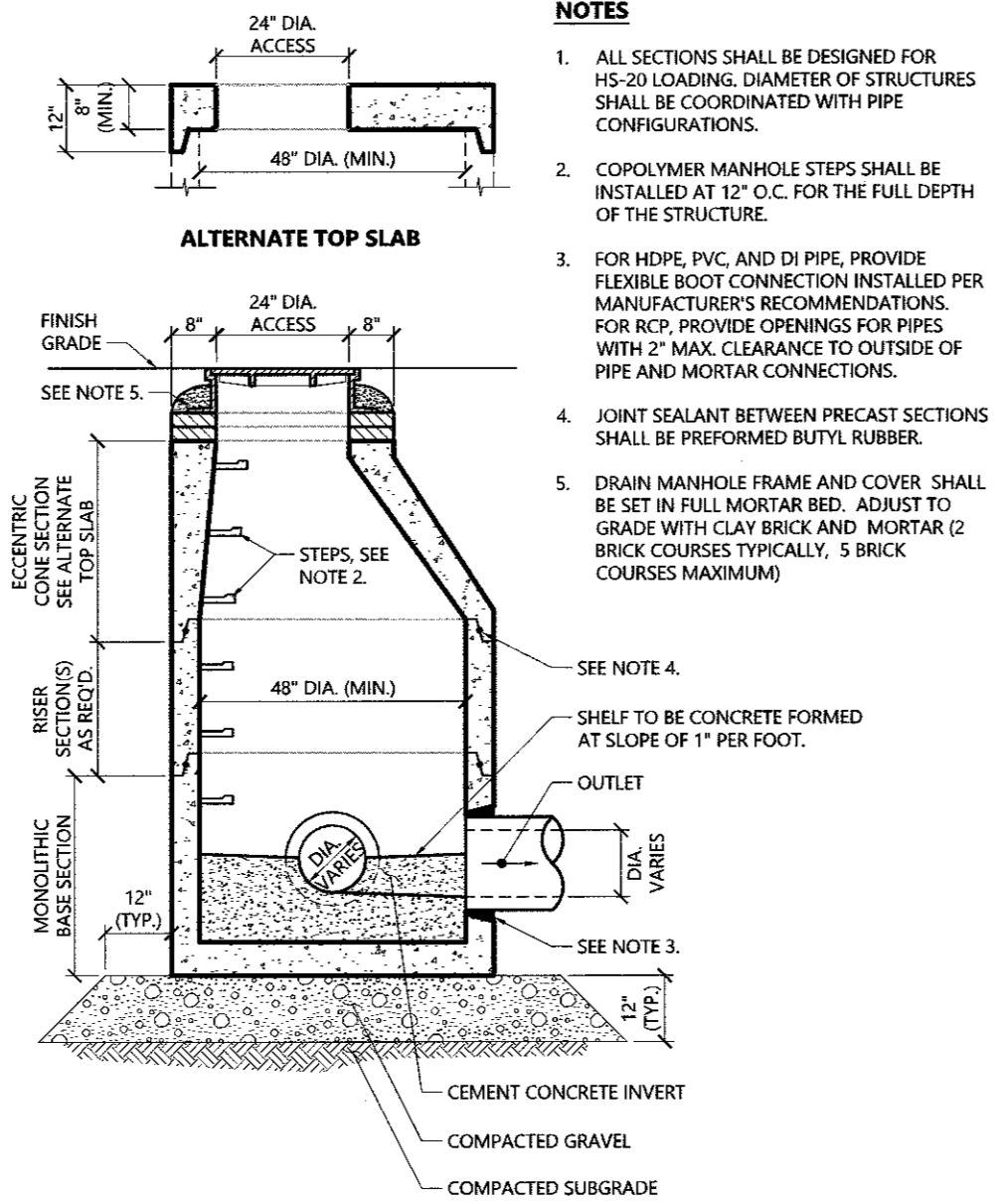


NOTES
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
3. CONCRETE SHALL BE 3,000 PSI-TYPE I.

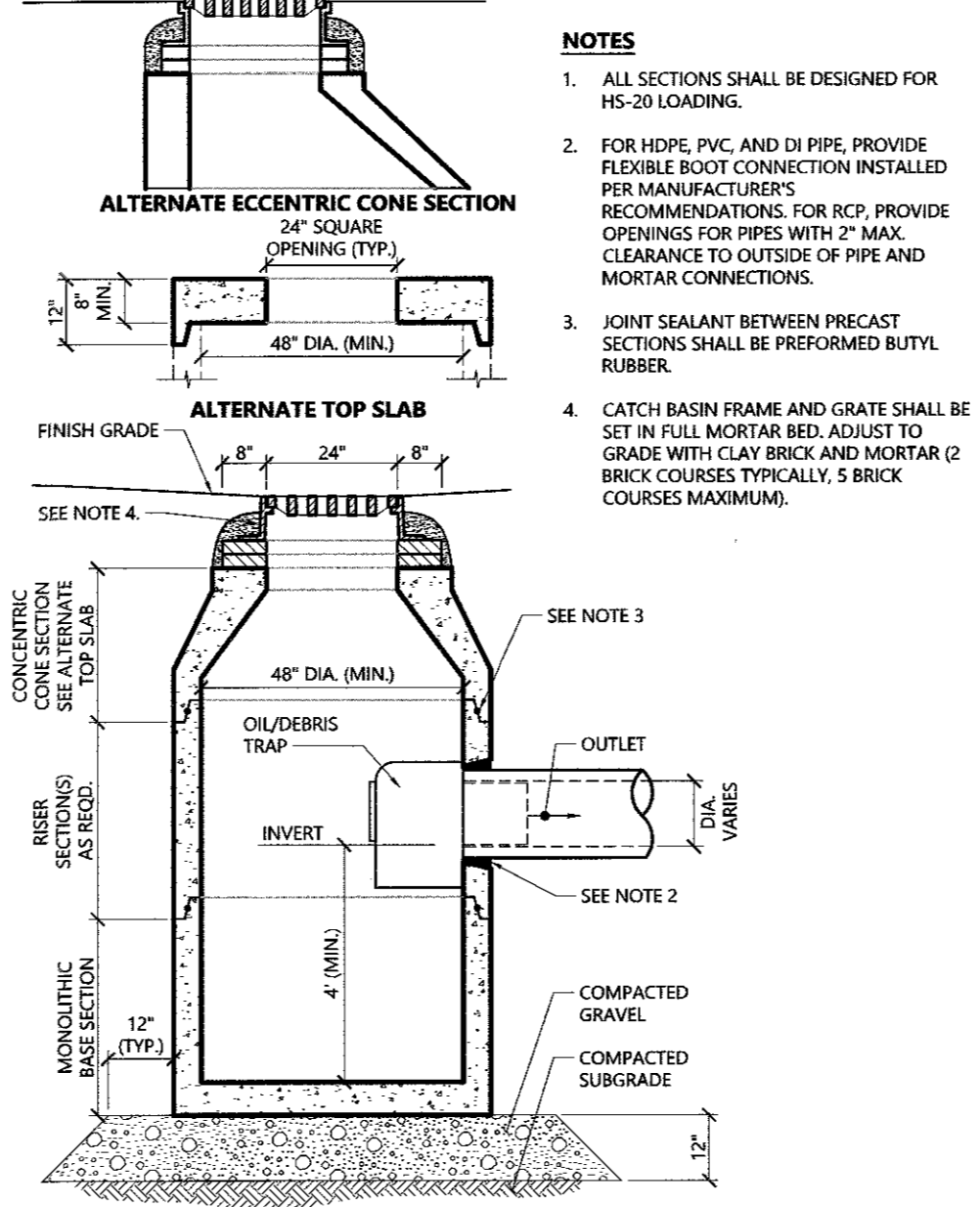
Concrete Thrust Block 1/16
N.T.S. Source: VHB REV LD_260



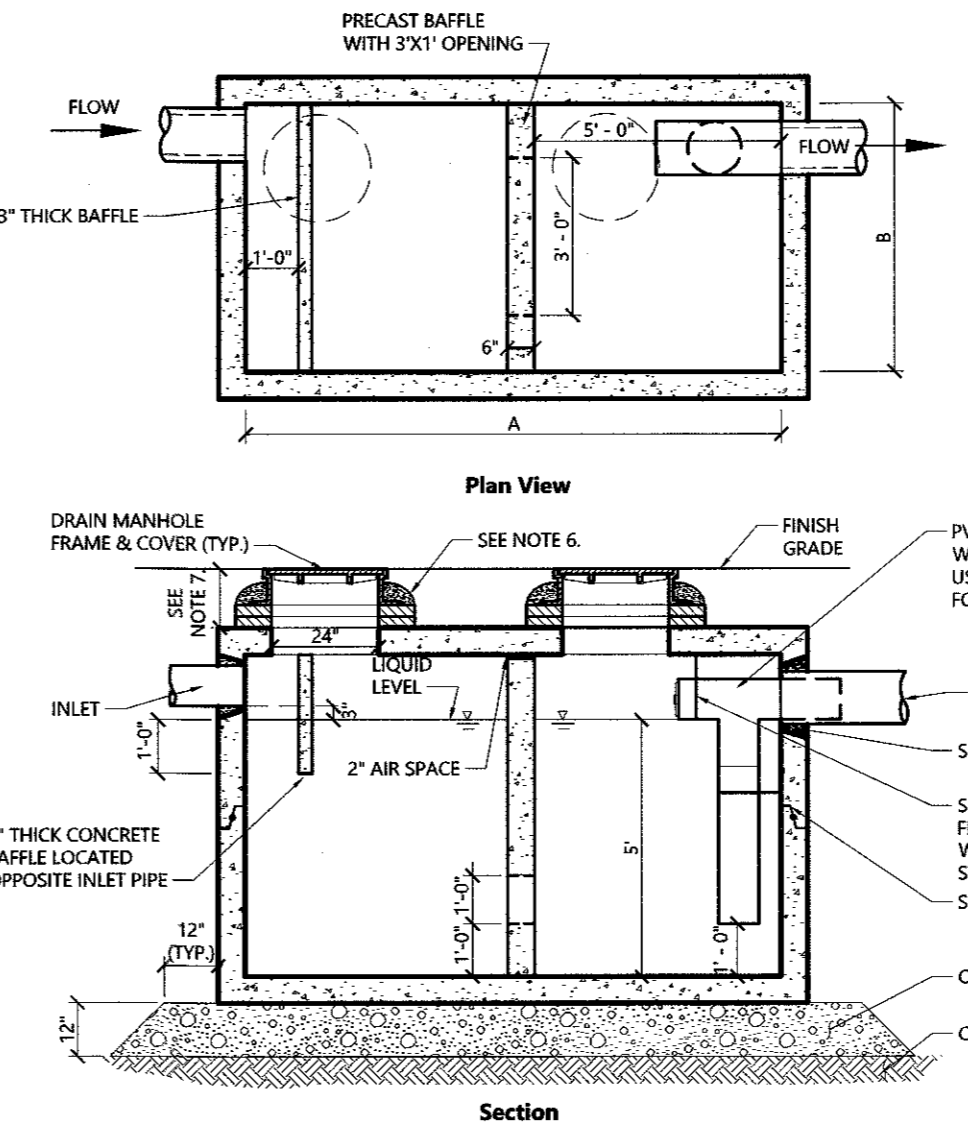
Precast Concrete Curb (PCC) 3/20
N.T.S. Source: VHB REV LD_404



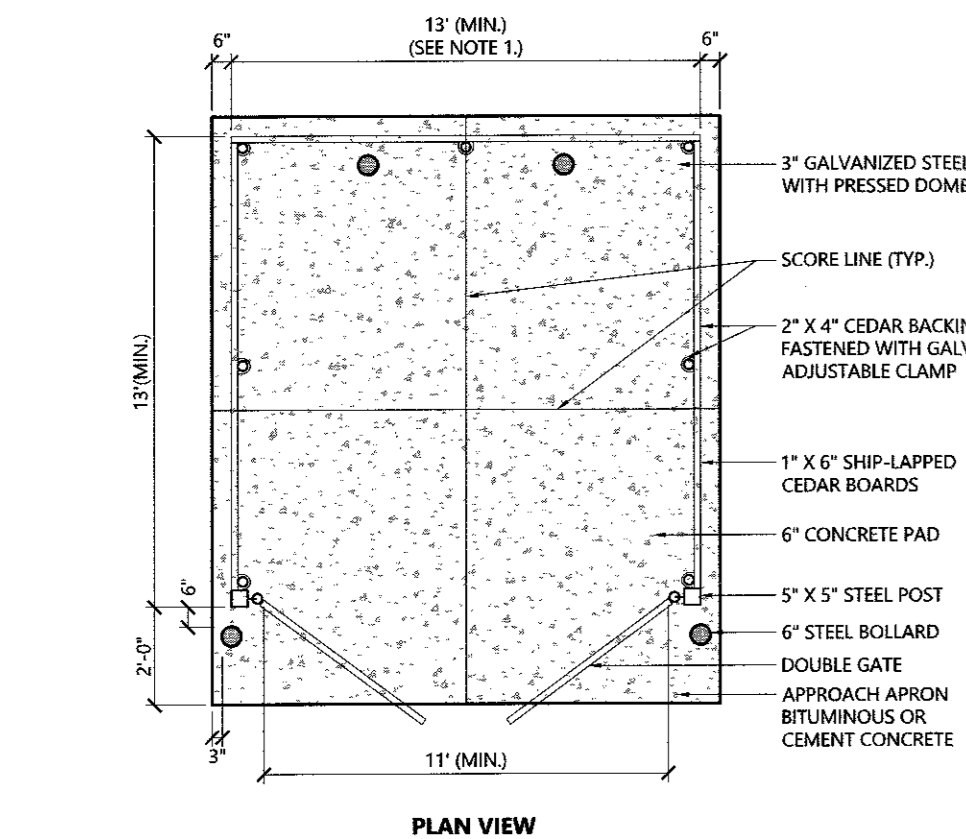
Drain Manhole (DMH) 11/19
N.T.S. Source: VHB REV LD_115



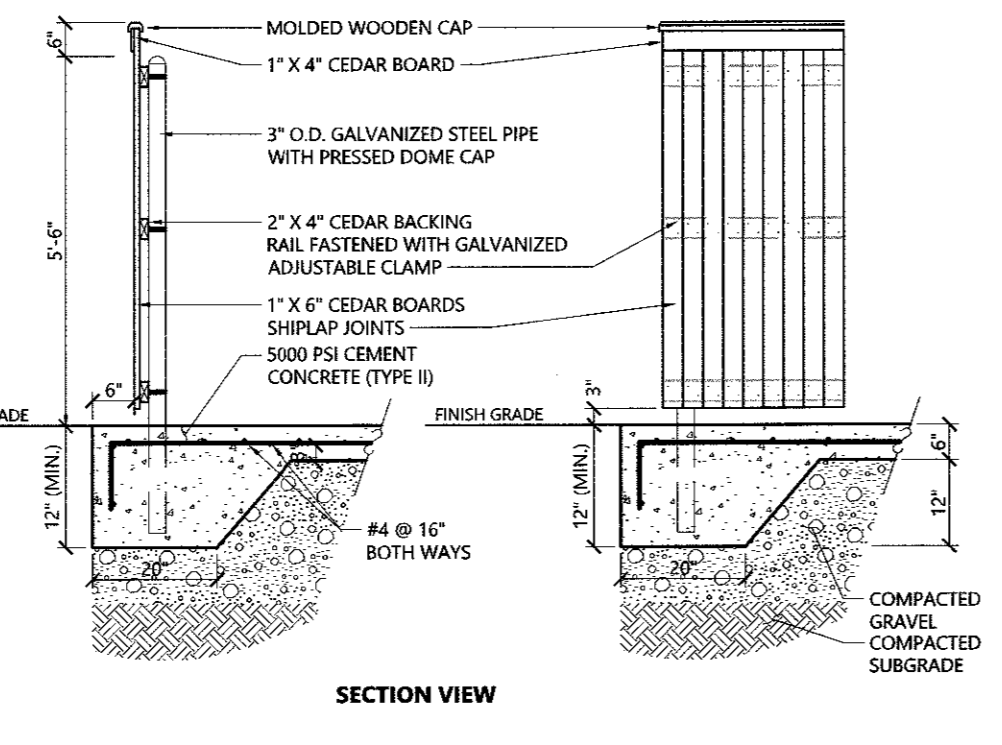
Catch Basin (CB) With Oil/Debris Trap 3/21
N.T.S. Source: VHB REV LD_101



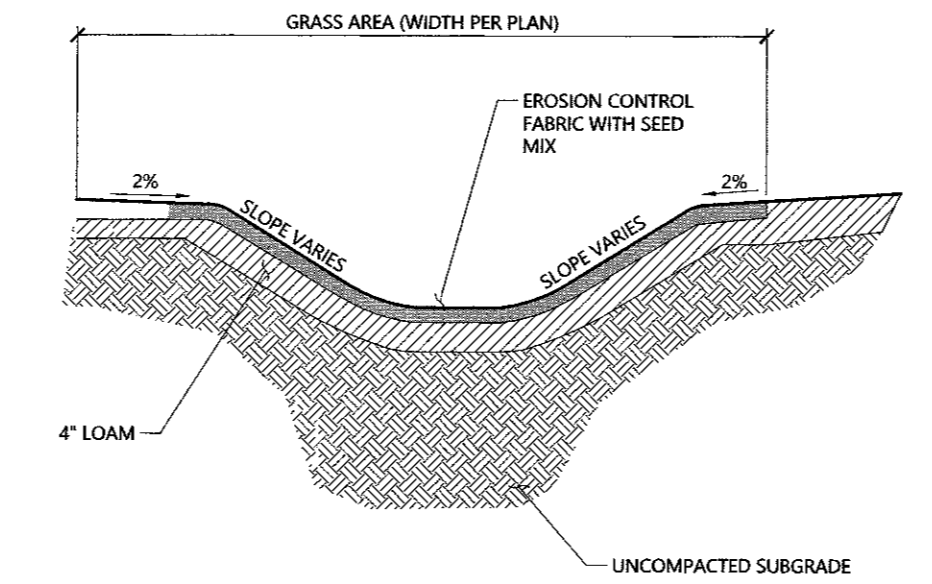
Oil/Water Separator 12/19
N.T.S. Source: VHB REV LD_144



Dumpster Pad w/ Enclosure 1/20
N.T.S. Source: VHB REV LD_713



Grass Swale 1/16
N.T.S. Source: VHB REV LD_350



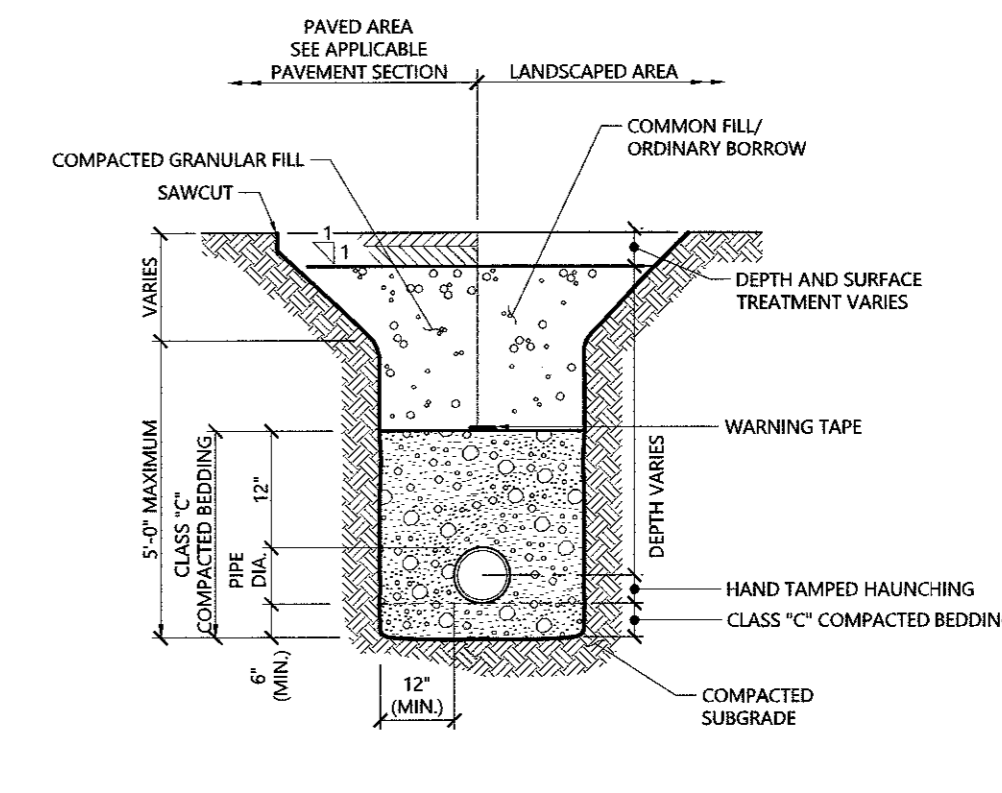
Modular Retaining Wall 10/20
N.T.S. Source: VHB REV LD_750

DIMENSIONS

	A	B
1,500 GAL.	11' 8"	4' 8"
4,000 GAL.	12' 1"	7' 0"

NOTES
1. OIL/WATER SEPARATOR SHALL BE A STANDARD PRECAST SEPTIC TANK WITH PRECAST BAFFLES AS SHOWN.
2. STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
3. SEE PLANS FOR ACTUAL DISPOSITION OF PIPING LAYOUT FOR COORDINATION OF MANHOLE ACCESS AND BAFFLE.
4. FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE AND MORTAR CONNECTIONS.
5. JOINT SEALANT BETWEEN ALL SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
6. STANDARD DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
7. STANDARD BARREL BLOCK AND MORTAR SHALL BE USED TO BRING MANHOLE FRAME AND COVER TO FINISHED GRADE WHEN DEPTH TO TOP OF STRUCTURE EXCEEDS 18 INCHES.
8. WHEN CONNECTING TO DISCHARGE PIPE THE PVC ULT TEE AND PIPE SHALL BE SIZED TO FIT SNUUGELY INSIDE THE DISCHARGE PIPE AND THE JOINT SHALL BE SEALED WITH NON-SHRINK CEMENT GROUT.
9. GEOMETRY OF PIPING AND LOCATION OF BAFFLES AND MANHOLE ACCESS TO BE CONSISTENT WITH UTILITY PLAN.

Oil/Water Separator 12/19
N.T.S. Source: VHB REV LD_144



Utility Trench 11/19
N.T.S. Source: VHB REV LD_300

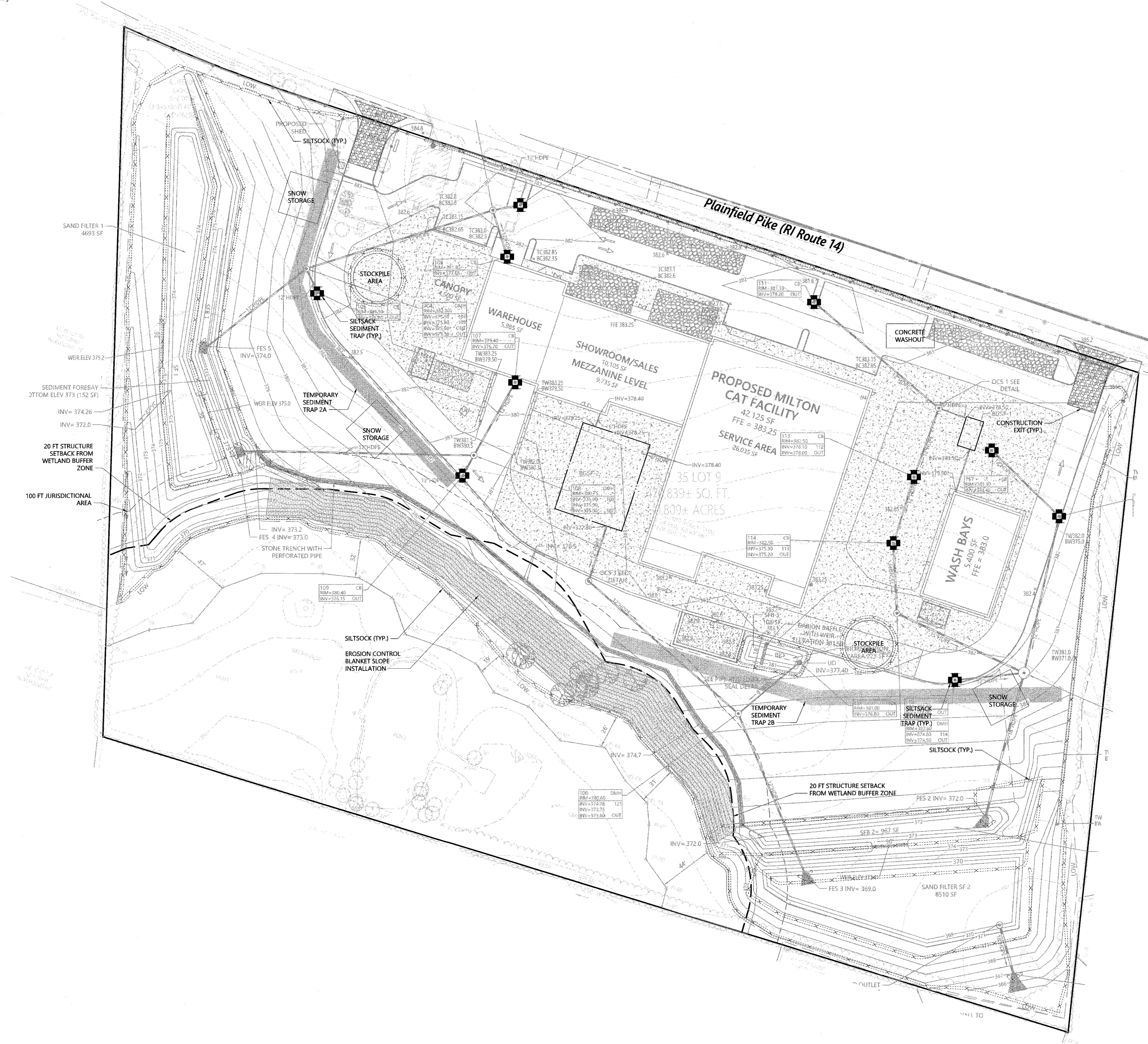
Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appr.
1	RIDOT PAPA Response to Comments	8/22/2023	
2	RIDEM Comments	10/05/2023	

Designed by: ER
Checked by: JR
Date: June 16, 2023

Not approved for Construction
Site Details 2
Drawing Number

JOSHUA A. ROSEN
No. 8074
REGISTERED PROFESSIONAL ENGINEER (CIVIL)
C5.02
Sheet 6 of 7
Project Number: 73375.00

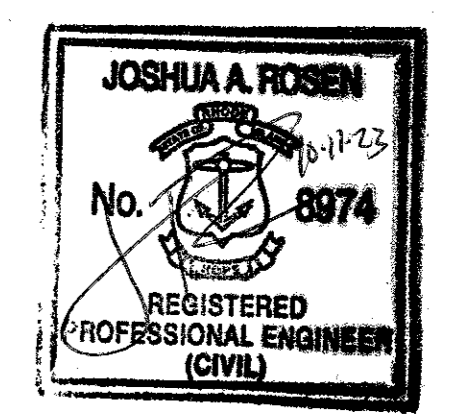


Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appr.
1	RIDOT PAPA Response to Comments	8/22/2023	
2	RIDEM Comments	10/05/2023	

Designed by	ER	Checked by	JR
Issued for	Permits	Date	May 03, 2023

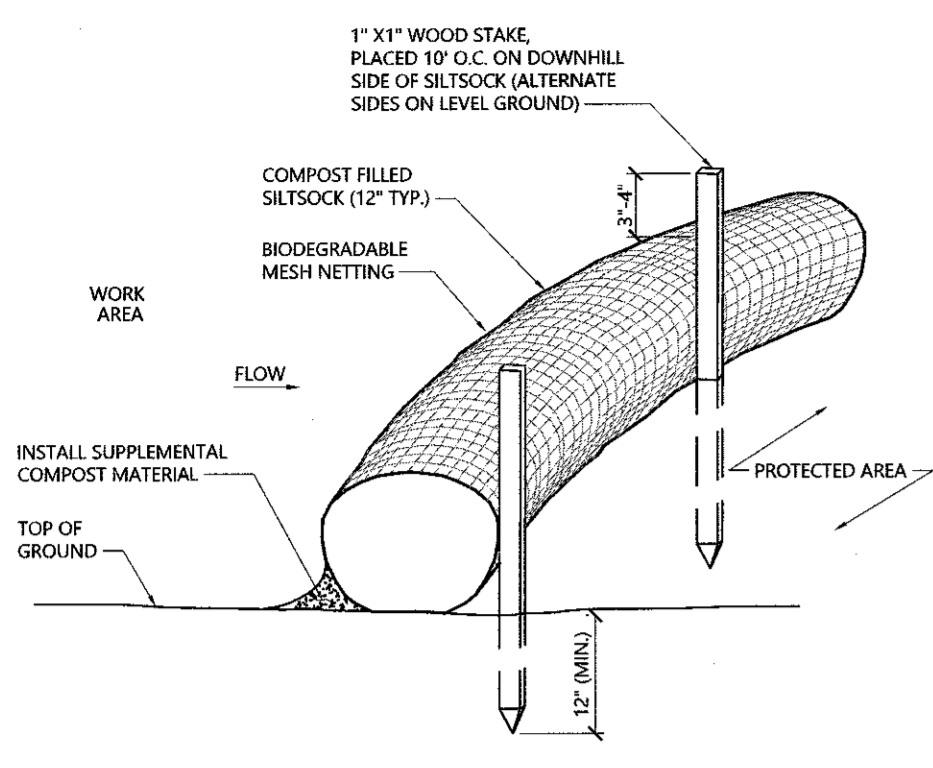
Not approved for Construction
Erosion and Sediment
Control Plan 1



SESC-1

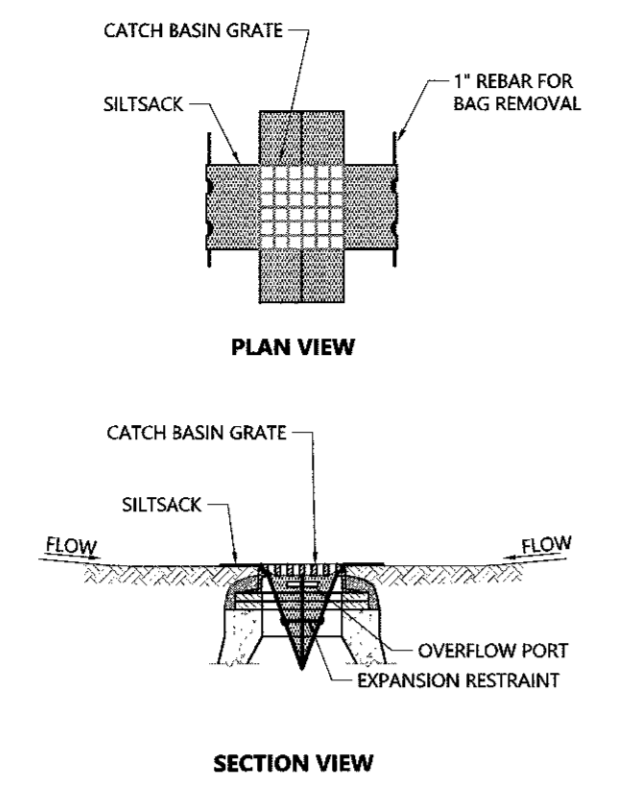
Sheet 1 of 2

Project Number
73375.00



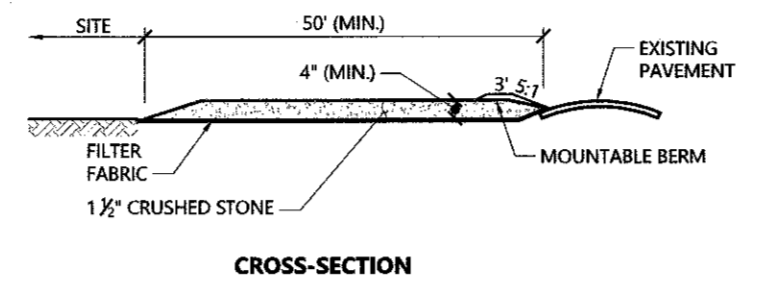
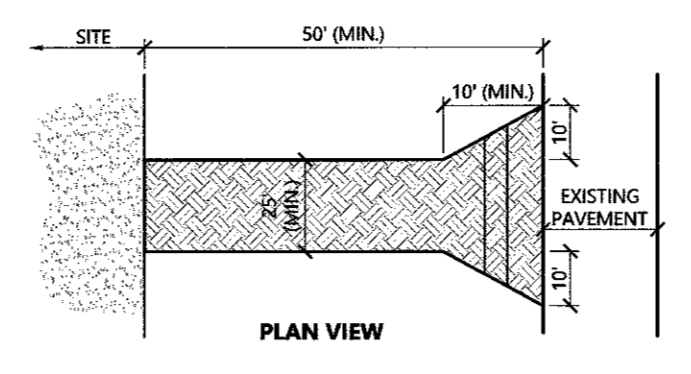
- NOTES**
- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
 - SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
 - SILT SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPENSED ON SITE, AS DETERMINED BY THE ENGINEER.
 - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosion Control Barrier 10/20
N.T.S. Source: VHB LD_658



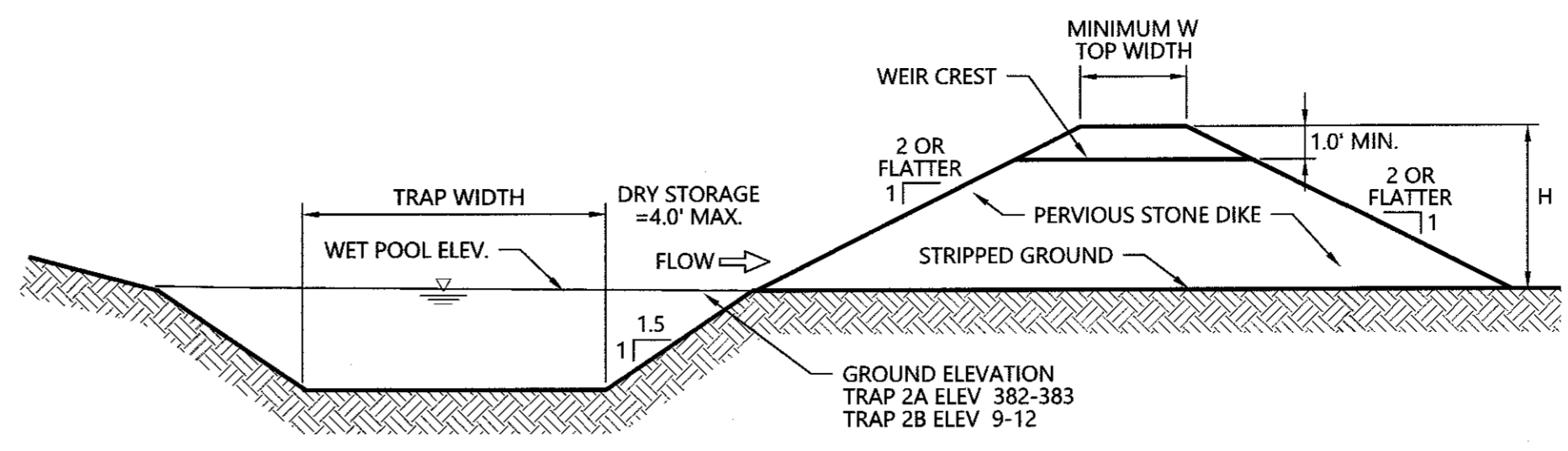
- NOTES**
- INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILT SACK.
 - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANUP OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsack Sediment Trap 1/20
N.T.S. Source: VHB REV LD_674



- NOTES**
- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



- CROSS SECTION (NOT TO SCALE)**
- TRAP 2A**
L=325 LF
TRAP WIDTH=10.3'
WET STORAGE DEPTH=1'
DRY STORAGE DEPTH=0.84'
H=1.84'
W=2'
- TRAP 2B**
L=380 LF
TRAP WIDTH=12.4'
WET STORAGE DEPTH=1'
DRY STORAGE DEPTH=0.86'
H=1.86'
W=2'

TOP WIDTH VS. HEIGHT

H=HEIGHT OF EMBANKMENT
W=TOP WIDTH OF EMBANKMENT

H (FEET)	W (FEET)
1.5	2.0
2.0	2.0

Temporary Sediment Trap 5/23
N.T.S. Source: VHB LD

Sand Filter Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE SAND FILTER, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
- ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
- CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS TO THE MAXIMUM EXTENT PRACTICABLE. PRIOR TO INSTALLATION OF THE SAND LAYER, THE BOTTOM OF THE EXCAVATION SHALL BE TILLED TO RESTORE THE INFILTRATION CAPACITY.
- EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE SUBGRADE.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
- THE SAND FILTER SHALL BE PROTECTED WITH EROSION CONTROLS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES DAILY, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
- A CROSS SLOPE SHALL BE PLACED ON THE STABILIZED CONSTRUCTION EXIT TO DIRECT RUNOFF TO AN ONSITE SETTLING AREA. IF DEEMED NECESSARY AFTER CONSTRUCTION BEGINS, A WASH PAD MAY BE INCLUDED TO WASH OFF VEHICLE WHEELS BEFORE LEAVING THE PROJECT SITE.
- VEGETATIVE SLOPE STABILIZATION WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR STEEPER. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATION OR OTHER EARTH DISTURBANCE ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT BE RESUMED FOR A PERIOD EXCEEDING FOURTEEN (14) CALENDAR DAYS. STABILIZATION MUST BE COMPLETED USING VEGETATIVE STABILIZATION MEASURES WHERE POSSIBLE.
- ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15TH SHALL BE SEEDED BY THAT DATE. ANY SUCH AREAS WHICH DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15TH TO APRIL 15TH CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THE DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE STABILIZED WITHIN FIVE (5) WORKING DAYS.
- THE SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) CONTAINED ON THE SITE DRAWINGS ARE THE MINIMUM REQUIRED BY THE RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM (RPDES) PROGRAM. THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL BMPs TO PREVENT POLLUTION FROM STORM WATER DISCHARGES LEAVING THE WORK SITE OR ENTERING WETLANDS IN COMPLIANCE WITH THE RPDES GENERAL PERMIT AND ALL OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS.

Swale Protection During Construction

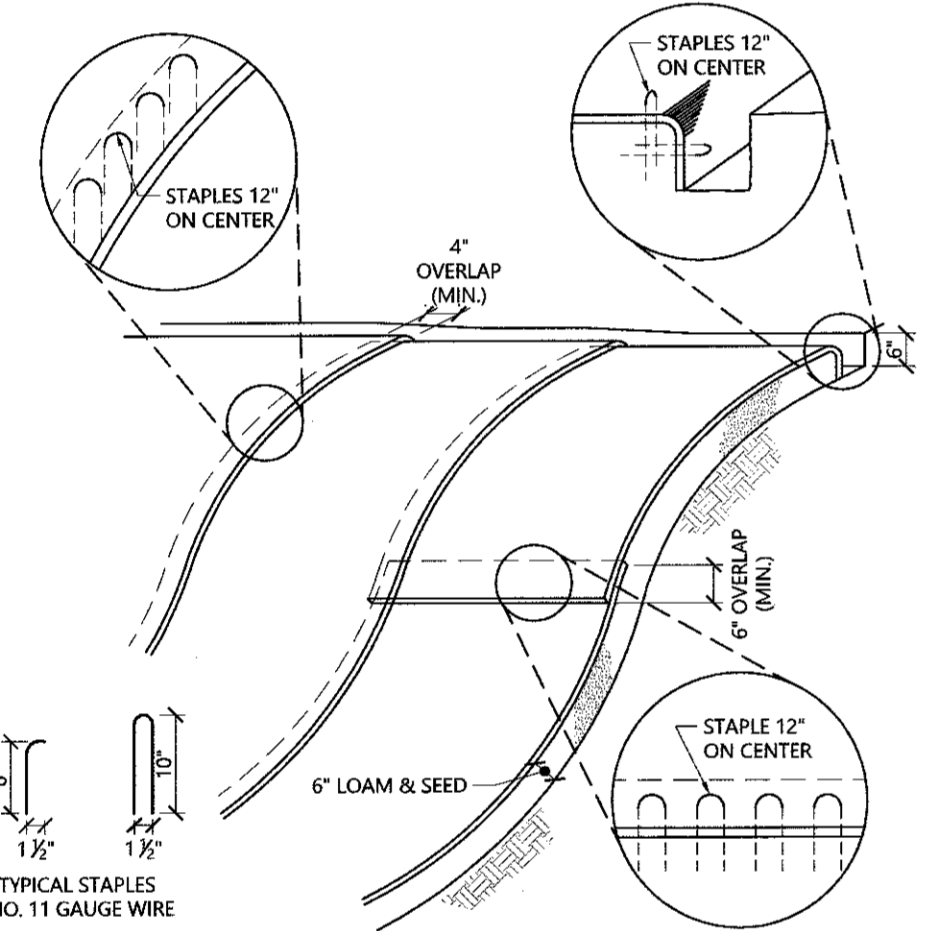
FOR THE LONG-TERM FUNCTION OF THE GRASS SWALES, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
- ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
- CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACT OF THE SUBGRADE.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
- THE SWALE SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.

Erosion Control Maintenance Requirements

SITE OWNERS AND OPERATORS MUST ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS REMAIN IN EFFECTIVE OPERATING CONDITION AND ARE PROTECTED FROM ACTIVITIES THAT WOULD REDUCE THEIR EFFECTIVENESS. SITE OWNERS AND OPERATORS MUST ALSO ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS ARE INSPECTED AT THE REQUIRED FREQUENCY REQUIREMENTS LISTED BELOW. IF THE DESIGNATED SITE INSPECTOR FINDS A PROBLEM (I.E. EROSION, RUNOFF, SEDIMENT OR POLLUTION PREVENTION CONTROLS REQUIRE REPLACEMENT, REPAIR, OR MAINTENANCE), THE OWNER AND OPERATOR MUST ENSURE THAT THE NECESSARY REPAIRS OR MODIFICATIONS ARE MADE IN ACCORDANCE WITH THE FOLLOWING:

- INITIATE WORK TO FIX THE PROBLEM IMMEDIATELY AFTER DISCOVERING THE PROBLEM, AND COMPLETE SUCH WORK BY THE CLOSE OF THE NEXT WORK DAY, IF THE PROBLEM DOES NOT REQUIRE SIGNIFICANT REPAIR OR REPLACEMENT, OR IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE.
- WHEN INSTALLATION OF A NEW CONTROL OR A SIGNIFICANT REPAIR IS NEEDED, SITE OWNERS AND OPERATORS MUST ENSURE THAT THE NEW OR MODIFIED CONTROL PRACTICE IS INSTALLED AND MADE OPERATIONAL BY NO LATER THAN SEVEN (7) CALENDAR DAYS FROM THE TIME OF DISCOVERY WHERE FEASIBLE. IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN SEVEN (7) CALENDAR DAYS, THE REASONS WHY IT IS INFEASIBLE MUST BE DOCUMENTED IN THE SESC PLAN ALONG WITH THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROL(S) AND MAKING IT OPERATIONAL AS SOON AS PRACTICABLE AFTER THE 7-DAY TIMEFRAME. WHERE THESE ACTIONS RESULT IN CHANGES TO ANY OF THE STORMWATER CONTROL MEASURES OUTLINED IN THE SESC PLAN, SITE OWNERS AND OPERATORS MUST MODIFY THE SESC PLAN ACCORDINGLY WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETING THIS WORK IN ACCORDANCE WITH THE FOLLOWING:
 - THE OWNER AND OPERATOR SHALL AMEND THE SESC PLAN WITHIN SEVEN (7) DAYS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR OTHER PROCEDURE WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS, OR IF THE SESC PLAN PROVES TO BE INEFFECTIVE IN ACHIEVING ITS OBJECTIVES. IN ADDITION, THE SESC PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW OPERATOR THAT WILL IMPLEMENT A COMPONENT OF THE SESC PLAN. THE AMENDED SESC PLAN MUST BE KEPT ON FILE AT THE CONSTRUCTION SITE AND ANY SESC PLAN MODIFICATIONS MUST BE DOCUMENTED. ANY AMENDMENTS TO CONTROL MEASURES WHICH INVOLVED THE PRACTICE OF ENGINEERING, MUST FIRST BE REVIEWED, SIGNED, AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND.
 - IF CORRECTIVE ACTIONS ARE REQUIRED, THE SITE OWNER AND OPERATOR MUST ENSURE THAT ALL CORRECTIVE ACTIONS ARE DOCUMENTED ON THE INSPECTION REPORT IN WHICH THE PROBLEM WAS FIRST DISCOVERED. THESE CORRECTIVE ACTIONS MUST BE DOCUMENTED, SIGNED, AND DATED BY THE SITE OPERATOR ONCE ALL NECESSARY REPAIRS HAVE BEEN COMPLETED.
 - SOIL EROSION AND SEDIMENT CONTROL INSPECTION REQUIREMENTS
MINIMUM FREQUENCY - EACH OF THE FOLLOWING AREAS MUST BE INSPECTED BY OR UNDER THE SUPERVISION OF THE OWNER AND OPERATOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF:
 - ALL AREAS THAT HAVE BEEN CLEARED, GRADED, OR EXCAVATED AND THAT HAVE NOT YET COMPLETED STABILIZATION;
 - ALL STORMWATER EROSION, RUNOFF, AND SEDIMENT CONTROL MEASURES (INCLUDING POLLUTION PREVENTION PRACTICES) INSTALLED AT THE SITE TO COMPLY WITH THIS PERMIT;
 - CONSTRUCTION MATERIAL, UNSTABILIZED SOIL STOCKPILES, WASTE, BORROW, OR EQUIPMENT STORAGE, AND MAINTENANCE AREAS THAT ARE COVERED BY THIS PERMIT AND ARE EXPOSED TO PRECIPITATION;
 - ALL AREAS WHERE STORMWATER TYPICALLY FLOWS WITHIN THE SITE, INCLUDING TEMPORARY DRAINAGE WAYS DESIGNED TO DIVERT, CONVEY, AND/OR TREAT STORMWATER;
 - ALL POINTS OF DISCHARGE FROM THE SITE;
 - ALL LOCATIONS WHERE TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES HAVE BEEN IMPLEMENTED.
 - ALL LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.



- NOTES**
- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
 - ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
 - THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
 - WHEN BLANKETS MUST BE SPICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
 - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
 - EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

Erosion Control Blanket Slope Installation 10/20
N.T.S. Source: VHB LD_680

Notes:

- REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN REPORT FOR ADDITIONAL INFORMATION AND GUIDELINES.
- TOTAL SITE AREA = 10.8 ACRES. TOTAL SITE DISTURBANCE = 8.3 ACRES.
- LOCATION OF RECEIVING WATERS: RI006018R-05 TRIBUTARY TO SIMMONS LOWER RESERVOIR
- NO PORTION OF THE SITE FALLS WITHIN OR DIRECTLY DISCHARGES TO A NATURAL HERITAGE AREA (NHA), OR OTHERWISE IMPACTS THREATENED SPECIES OR HABITATS.
- STOCKPILES MUST BE WITHIN PROJECT LIMIT OF WORK BUT OUTSIDE THE BMP AREAS SHOWN ON THE PLANS AND SUCH THAT CONSTRUCTION VEHICLES DO NOT DRIVE OVER THESE AREAS TO ACCESS THE STOCKPILES.
- WASHOUT AND REFUELING AREAS MUST BE WITHIN PROJECT LIMITS BUT OUTSIDE THE BMP AREAS LISTED BELOW AND SHOWN ON THE PLANS.

Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Apprv.

Designed by	ER	Checked by	JR
Issued for	Permits	Date	June 16, 2023

Not approved for Construction

Erosion and Sediment Control Plan 2

Drawing Number

Sheet 2 of 2

Project Number 73375.00

SESC-2



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Street Tree Requirements:
One street tree shall be planted for every thirty-five (35) feet of frontage. Generally, street trees shall be of the same species except to achieve special effects. Trees may be spaced along the street at every thirty-five (35) feet at the rear of sidewalk or may be grouped in accordance with a landscape plan.

Total Street Frontage: 790 Linear Feet
Required Street Trees: 790 / 35 = 23
Provided Street Trees: 7

Parking Area Landscaping Requirements:
A minimum of twenty (20) percent of a parking area shall be shaded by deciduous trees that shall have a crown (canopy) of thirty (30) feet at maturity.

Total Parking Lot Area: 25874.6 SF
Parking Lot Covered by 30 feet Matured Tree Canopy: 3034.04 SF (11.7%)

Erosion Control/Restoration Seed Mix

Seed Mixtures:

1. Areas indicated as "Erosion Control / Restoration Seed Mix" are to be seeded with "New England Erosion Control Restoration Mix for Dry Sites Seed Mix", as manufactured by New England Wetland Plants, INC. Amherst, MA (548-8000, www.NEWP.com, or an approved equal. Apply in accordance with manufacturers recommendations.

Total Area: 22000 SF

Erosion Control/ Restoration Seed Mix Application rate: 35 lbs/acre | 1250 sq ft/lb

Erosion Control/ Restoration Seed Mix Species:
Red Fescue (*Festuca rubra*), Canada Wild Rye (*Elymus canadensis*), Annual Ryegrass (*Lolium multiflorum*), Perennial Ryegrass (*Lolium perenne*), Little Bluestem (*Schizachyrium scoparium*), Indian Grass (*Sorghastrum nutans*), Switch Grass (*Panicum virgatum*), Upland Bentrgrass (*Agrostis perennans*).

Wetland Seed Mix

Total Area: 652 SF

Application rate: 18 lbs/acre | 2500 sq ft/lb

Wetland Seed Mix Species:
Fox Sedge (*Carex vulpinoidea*), Lurid Sedge (*Carex lurida*), Blunt Bloom Sedge (*Carex scoparia*), Blue Vervain (*Ver hastata*), Fowl Bluegrass (*Poa palustris*), Hop Sedge (*Carex lupulina*), Green Bulrush (*Scirpus atrovirens*), Creeping Eleocharis (*Eleocharis palustris*), Fringed Sedge (*Carex crinita*), Soft Rush (*Juncus effusus*), Spotted Joe Pye Weed (*Eupatorium maculatum*), Rattlesnake Grass (*Glyceria canadensis*), Swamp aster (*Aster puniceus*), Blueflag (*Iris versicolor*), Swa Milkweed (*Asclepias incarnata*), Square stemmed Monkey Flower (*Mimulus ringens*).

Seed Mixtures:

1. Area indicated as "Wetland Seed Mix" is to be seeded with New England Wetmix (Wetland Seed Mix) as man. New England Wetland Plants, INC. Amherst, MA (413) 548-8000, www.NEWP.com, or an approved equal. Appli accordance with manufacturers recommendations.

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ARO	4	<i>Acer rubrum</i>	October Glory	2 1/2" CAL
	GT2	9	<i>Gleditsia triacanthos</i>	Skyline	2 1/2" CAL
	TAM	8	<i>Tilia americana</i>	American Linden	2 1/2" CAL
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	PS	3	<i>Pinus strobus</i>	White Pine	8" HT
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	
	H-SO	<i>Hemerocallis x 'Stella de Oro'</i>	Stella de Oro Daylily	#1 POT	
	NW	<i>Juniperus horizontalis</i>	Creeping Juniper	#2 POT	
SOD/SEED	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	TH	Turf Hydroseed	Drought tolerant fescue blend	seed	

SEEDING

- Conservation/Wildlife Mix and Erosion Control/ Restoration Seed Mix
- Wetland Seed Mix

Legend

- 25' Light Pole
- Wall Sconce
- Flag Pole Light
- Parking Lot Covered by 30 feet Matured Tree Canopy

SEEDING

- Mixture of Conservation/Wildlife Mix and Erosion Control/ Restoration Seed Mix

Seed Mixtures:

1. Areas indicated as "Conservation/ Wildlife Mix and Erosion Control / Restoration Seed Mix" are to be seeded with "New England Conservation / Wildlife Mix" and "New England Erosion Control / Restoration Mix for Dry Sites Seed Mix", as manufactured by New England Wetland Plants, INC. Amherst, MA (413) 548-8000, www.NEWP.com, or an approved equal. Apply in accordance with manufacturers recommendations.

Total Area: 28600 SF

Conservation/ Wildlife Mix Application rate: 25 lbs/acre | 1750 sq ft/lb

Conservation/ Wildlife Mix Species:
Virginia Wild Rye (*Elymus virginicus*), Little Bluestem (*Schizachyrium scoparium*), Big Bluestem (*Andropogon gerardii*), Red Fescue (*Festuca rubra*), Switch Grass (*Panicum virgatum*), Partridge Pea (*Chamaecrista fasciculata*), Panicledleaf Tick Trefoil (*Desmodium paniculatum*), Indian Grass (*Sorghastrum nutans*), Blue Vervain (*Verbena hastata*), Black Eyed Susan (*Rudbeckia hirta*), Common Sneezeweed (*Helenium autumnale*), Heath Aster (*Aster pilosus*/Symphytrichum pilosum), Early Goldenrod (*Solidago juncea*), Upland Bentrgrass (*Agrostis perennans*).

Erosion Control/ Restoration Seed Mix Application rate: 35 lbs/acre | 1250 sq ft/lb

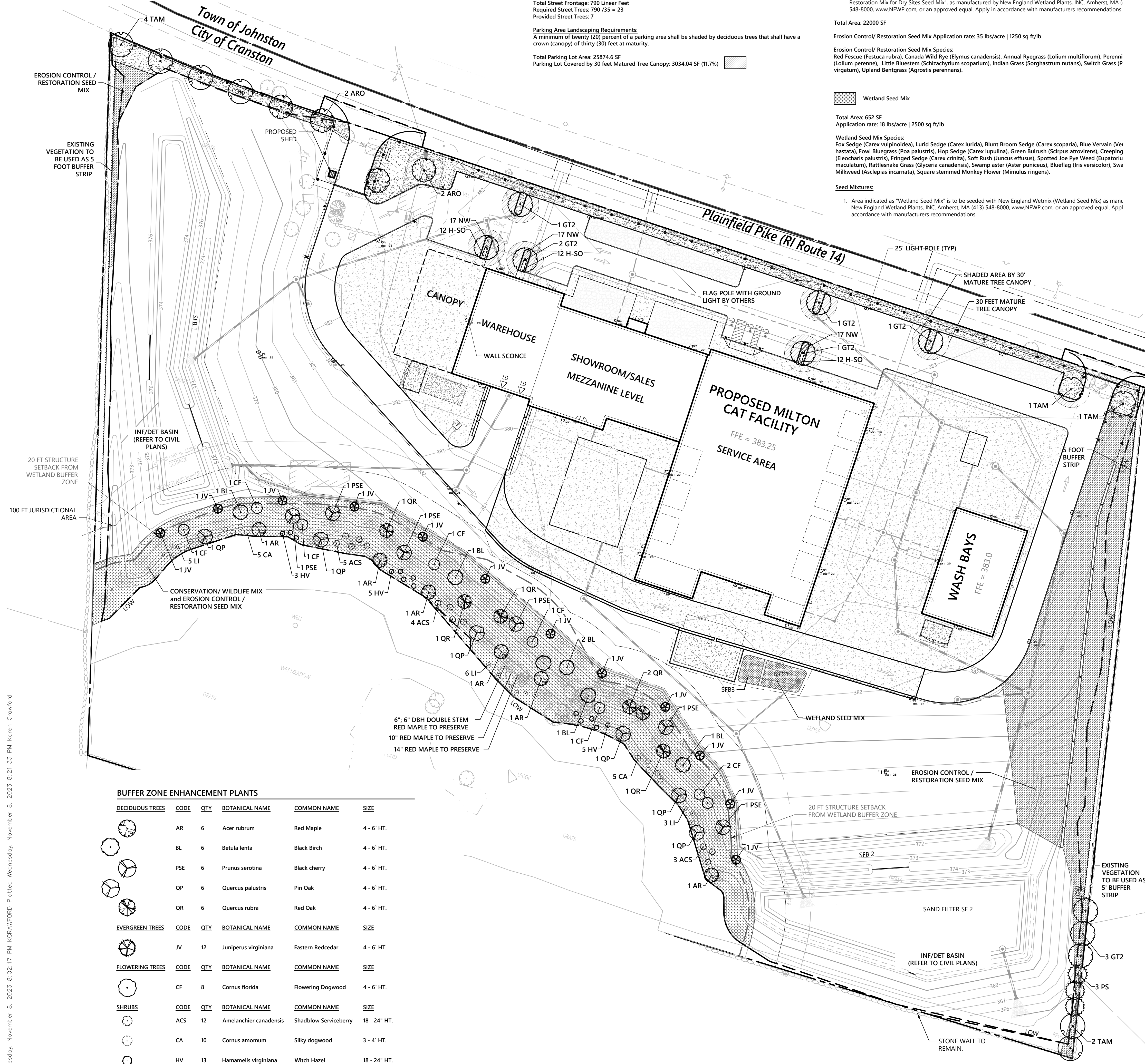
Erosion Control/ Restoration Seed Mix Species:
Red Fescue (*Festuca rubra*), Canada Wild Rye (*Elymus canadensis*), Annual Ryegrass (*Lolium multiflorum*), Perennial Ryegrass (*Lolium perenne*), Little Bluestem (*Schizachyrium scoparium*), Indian Grass (*Sorghastrum nutans*), Switch Grass (*Panicum virgatum*), Upland Bentrgrass (*Agrostis perennans*).

Planting Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH BIODEGRADABLE EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

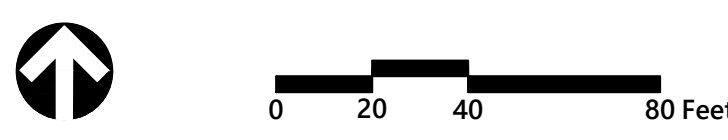
Plant Maintenance Notes

1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK, OR WATERING SHALL OCCUR AT A MINIMUM OF 3X PER WEEK FOR THE FIRST TWO WEEKS THEN A MINIMUM OF 2X PER WEEK FOR THE FIRST 60 DAYS. MANUAL WATERING SHALL CONTINUE AFTER THE 60 DAYS O AN AS NEEDED BASIS BUT 2X PER WEEK IS STILL RECOMMENDED FOR THE FIRST ENTIRE GROWING SEASON BASED ON AMOUNT NOTED IN #4.
4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



BUFFER ZONE ENHANCEMENT PLANTS

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AR	6	<i>Acer rubrum</i>	Red Maple	4 - 6" HT.
	BL	6	<i>Betula lenta</i>	Black Birch	4 - 6" HT.
	PSE	6	<i>Prunus serotina</i>	Black cherry	4 - 6" HT.
	QP	6	<i>Quercus palustris</i>	Pin Oak	4 - 6" HT.
	QR	6	<i>Quercus rubra</i>	Red Oak	4 - 6" HT.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	JV	12	<i>Juniperus virginiana</i>	Eastern Redcedar	4 - 6" HT.
FLOWERING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CF	8	<i>Cornus florida</i>	Flowering Dogwood	4 - 6" HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACS	12	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	18 - 24" HT.
	CA	10	<i>Cornus amomum</i>	Silly dogwood	3 - 4" HT.
	HV	13	<i>Hamamelis virginiana</i>	Witch Hazel	18 - 24" HT.
	LI	11	<i>Lindera benzoin</i>	Northern spicebush	3 - 4" HT.

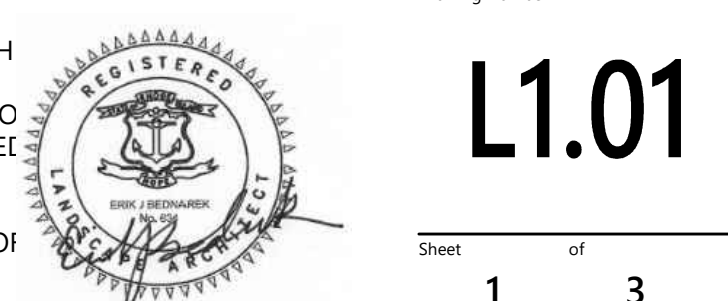


Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDOT PAPA Response to Comments	8/22/2023	
2	RIDEM Comments	10/05/2023	
4	RIDEM Comments	11/08/2023	

Designed by SC
Checked by EB
Issued for Permits
Date June 16, 2023

Not approved for Construction
Drawing Title
Planting Plan
Drawing Number



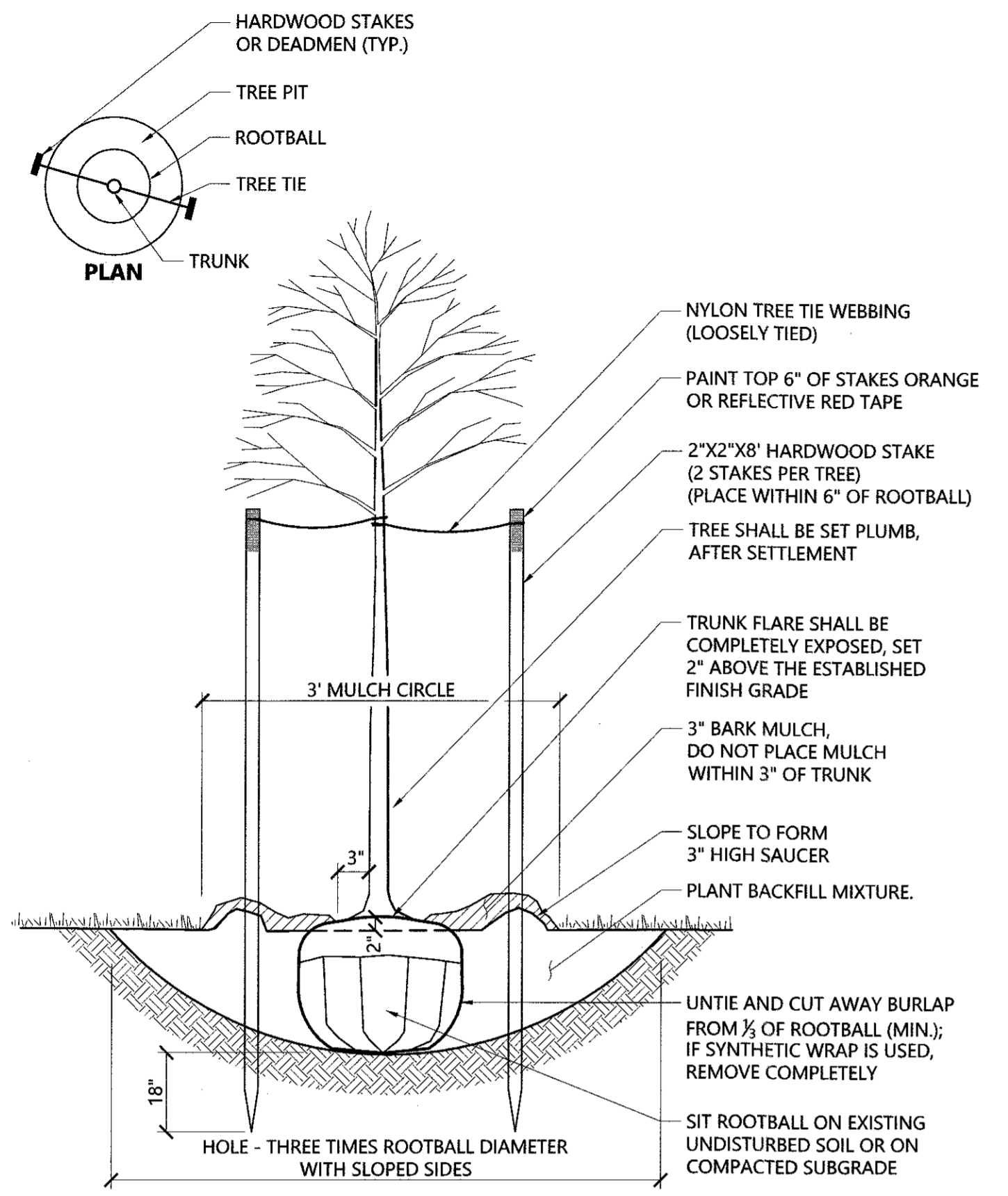
L1.01

Sheet 1 of 3

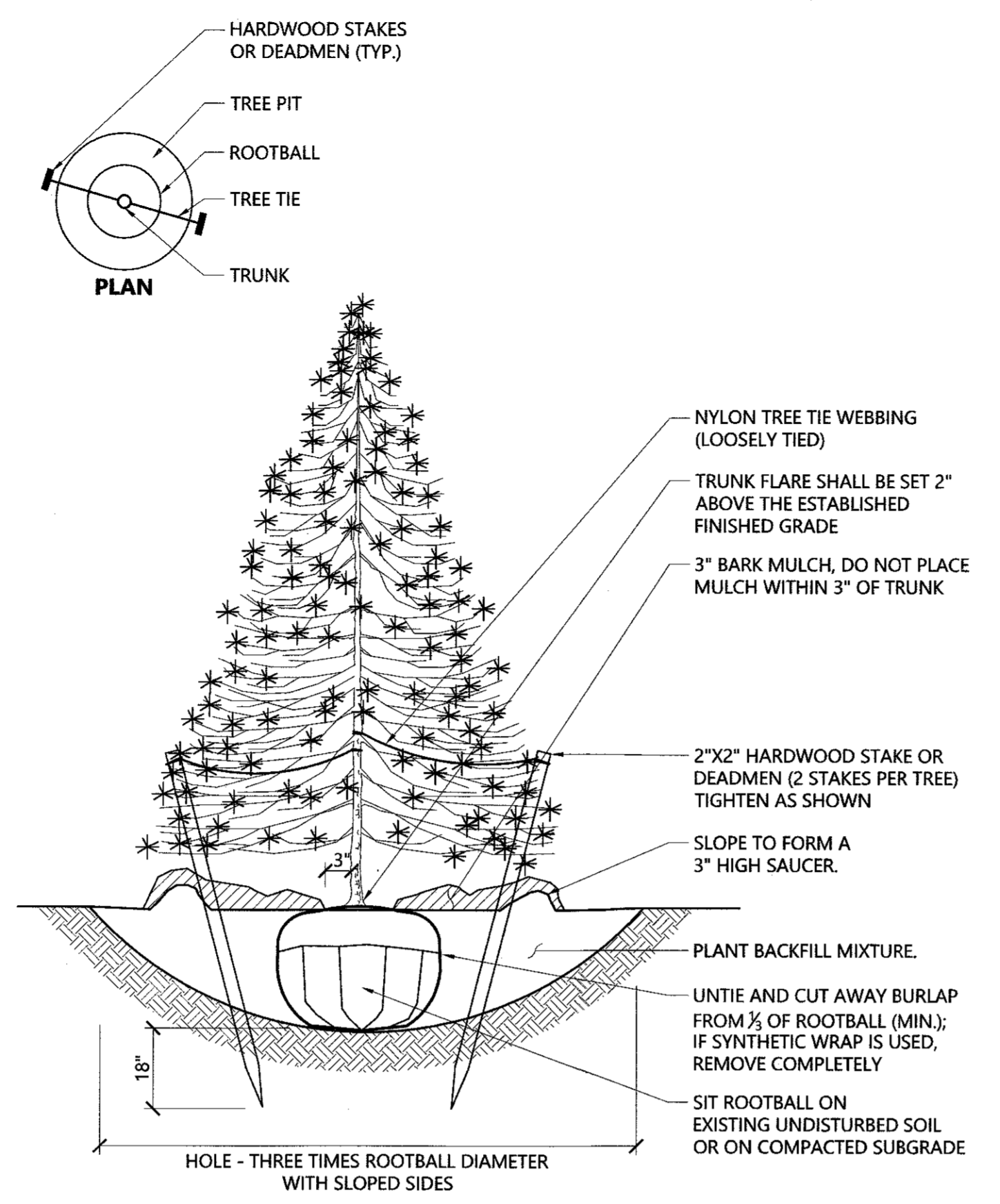
Project Number
73375.00



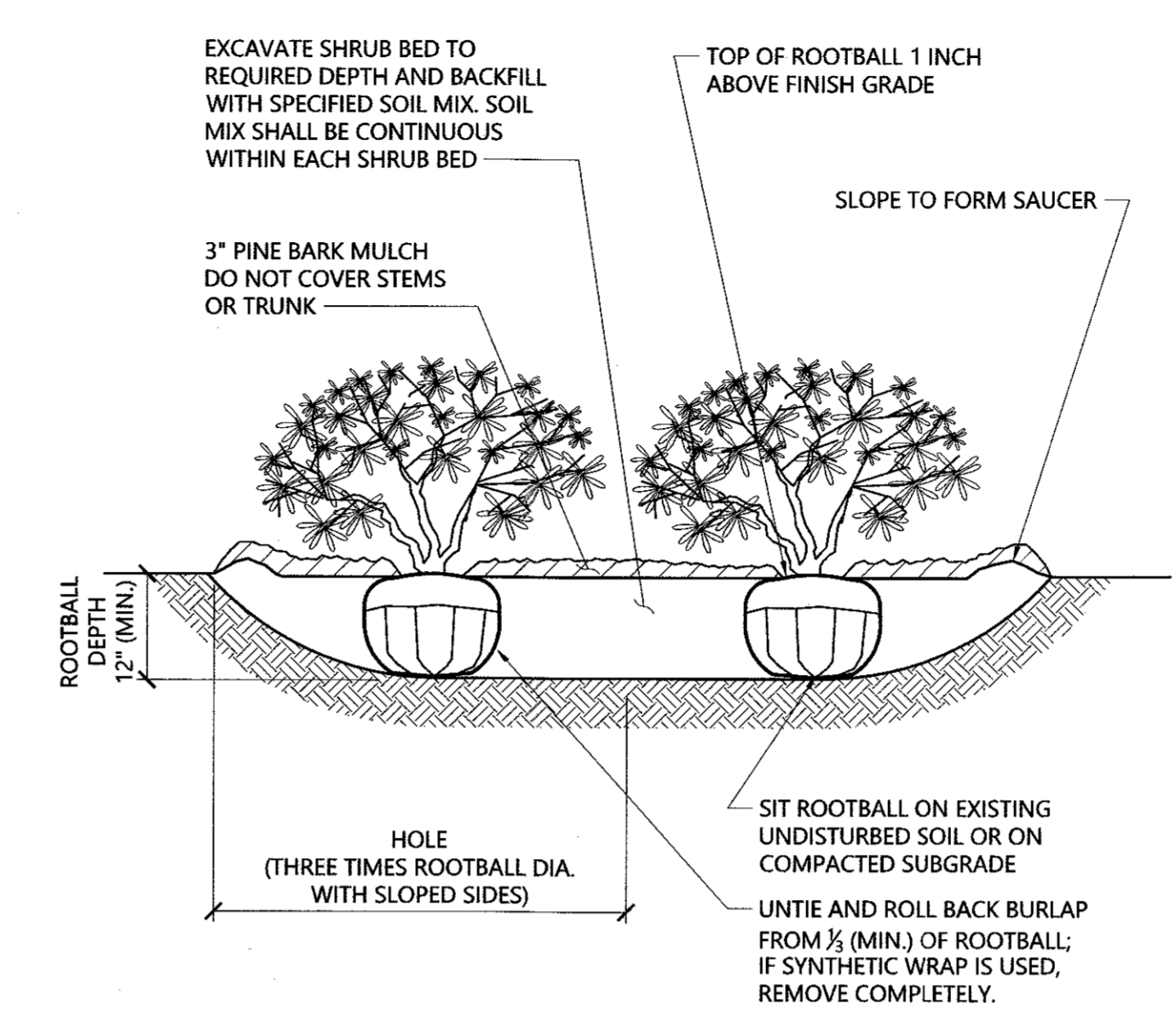
1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Tree Planting (For Trees Under 4" Caliper) 9/21
N.T.S. Source: VHB LD_602



Evergreen Tree Planting 9/21
N.T.S. Source: VHB LD_604



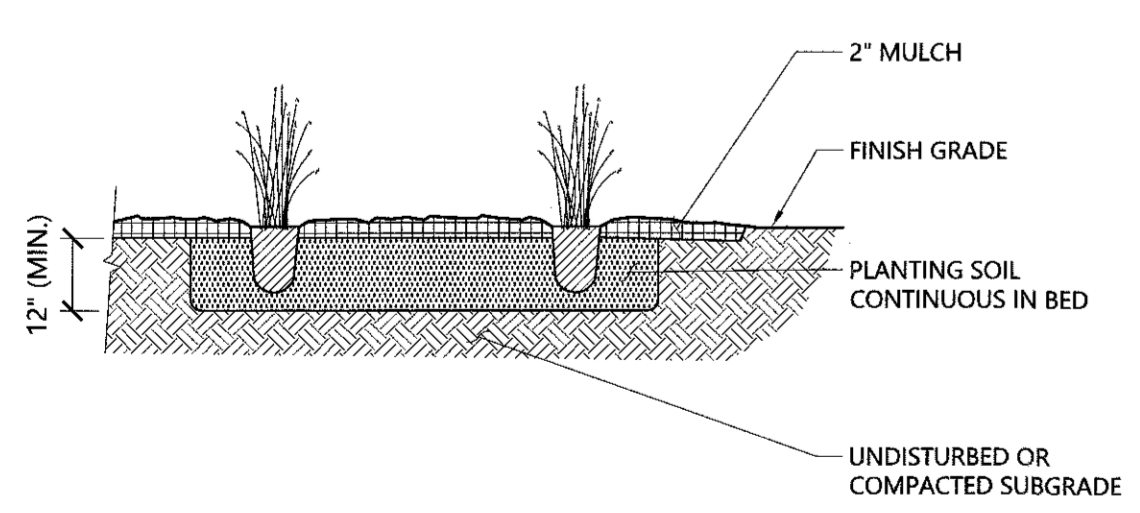
Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601

NOTES

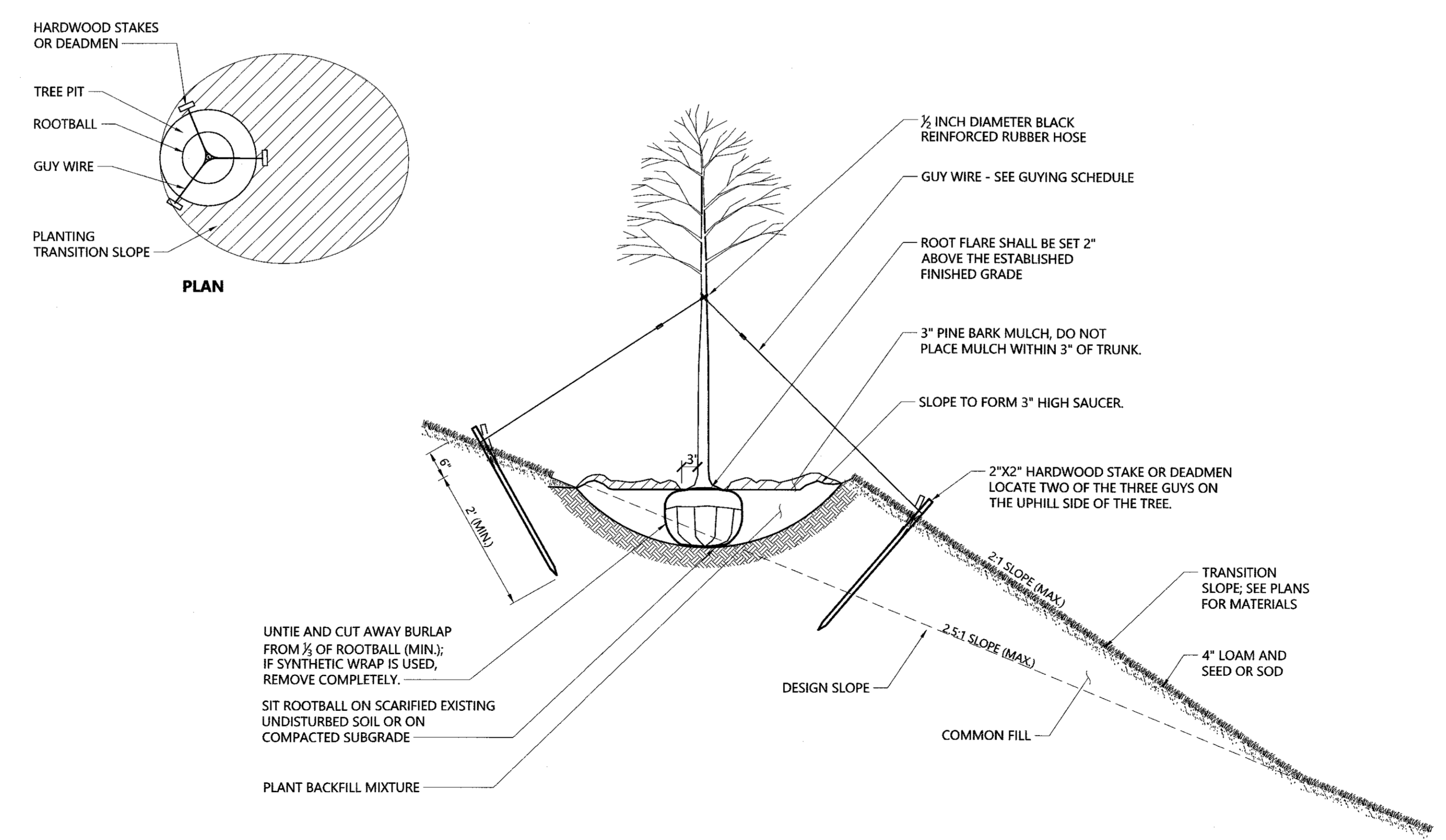
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

PLANT SPACING

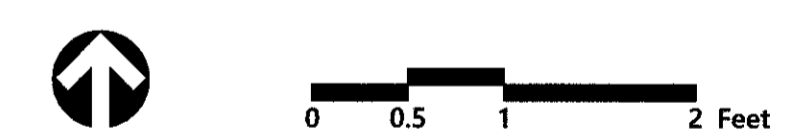
PLANT SPACING("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.



Perennial and Ornamental Grass Planting 9/21
N.T.S. Source: VHB LD_602



Deciduous Tree Planting on Slope 5/17
N.T.S. Source: VHB REV LD_605d



Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appvd.

Designed by SC Checked by EB
Issued for Permits Date June 16, 2023

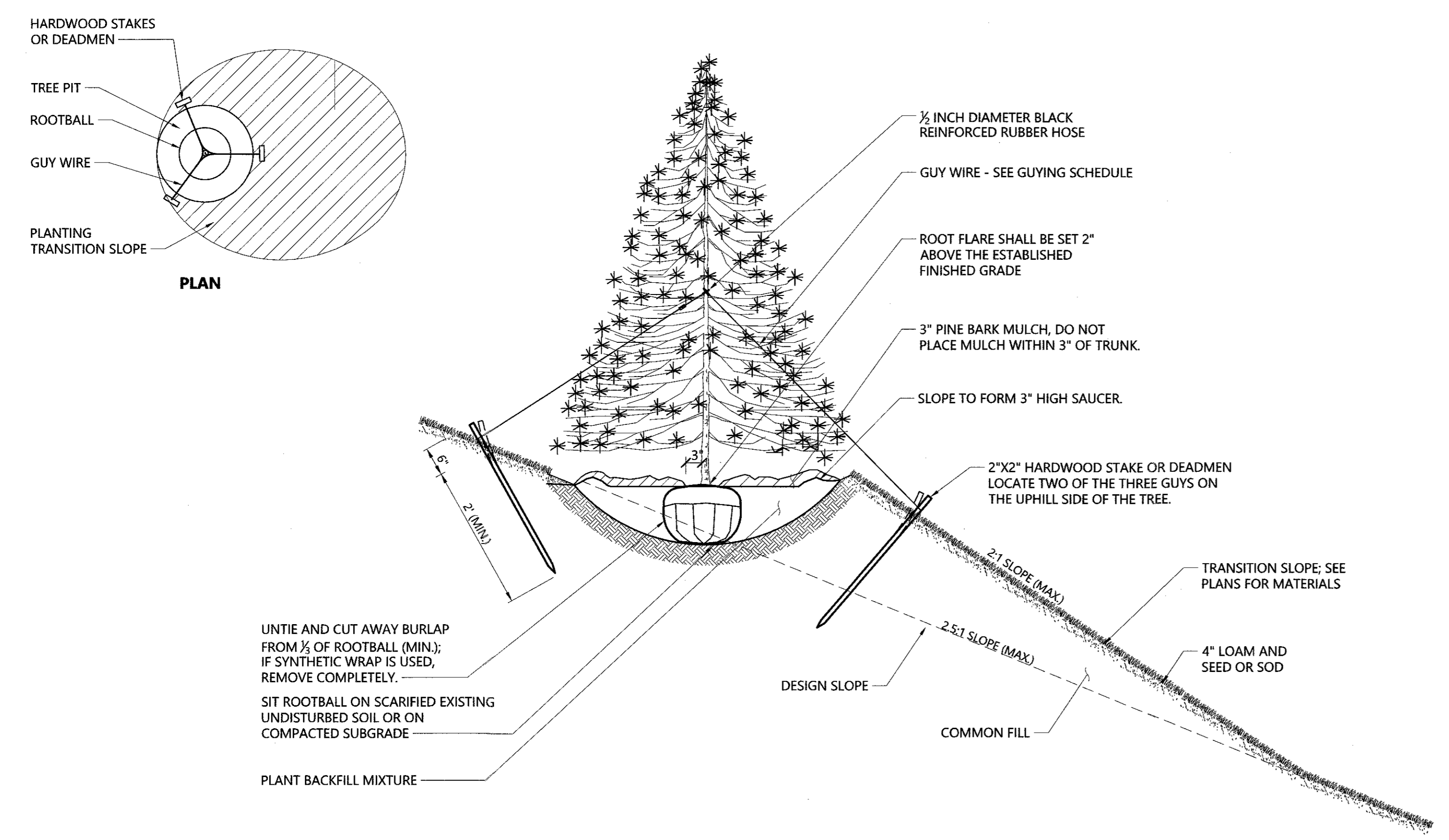
Not approved for Construction
Planting Details

Drawing Title
L2.01



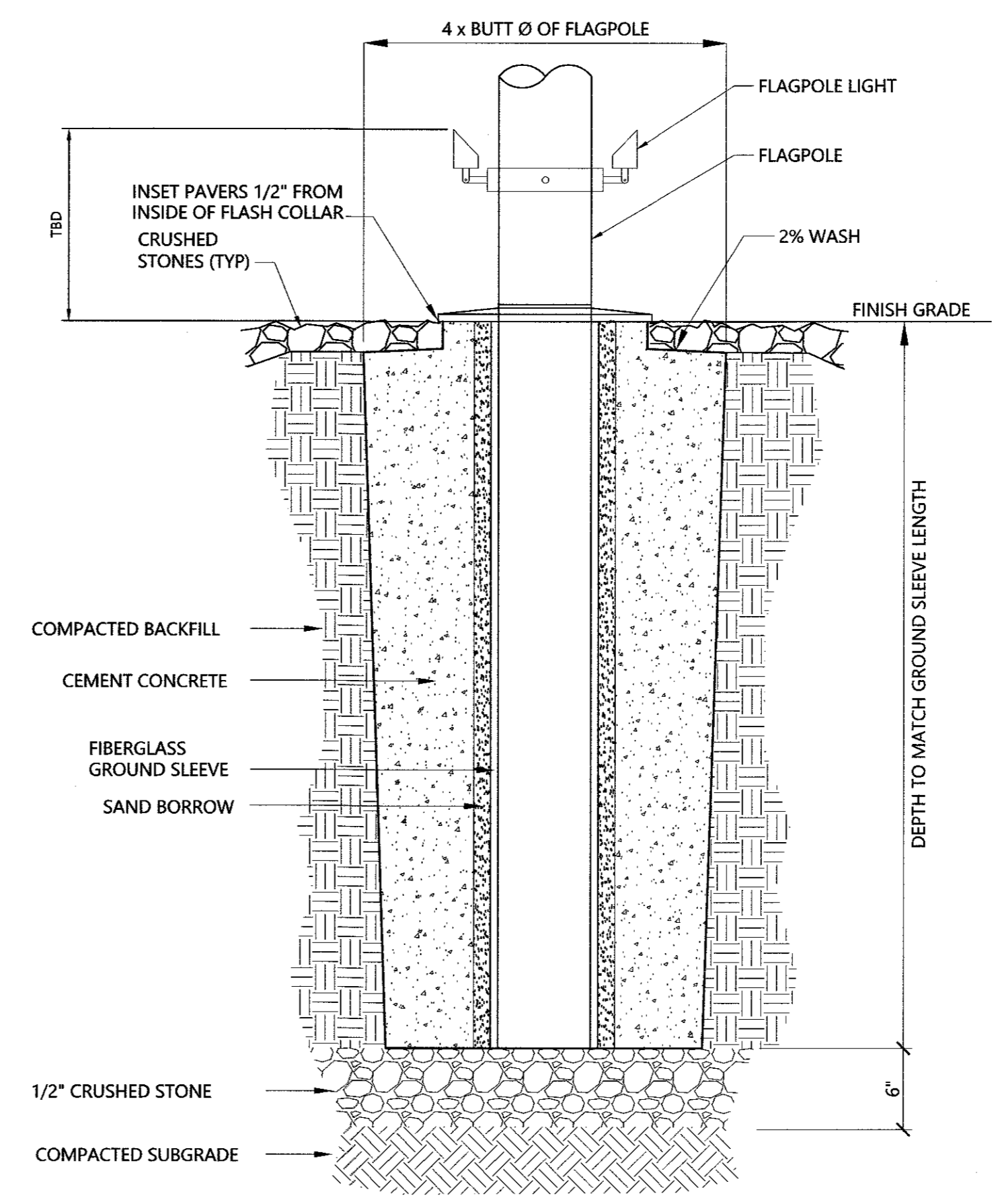
Sheet 2 of 3

Project Number
73375.00



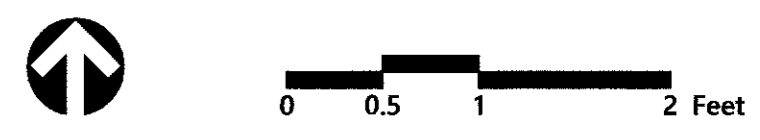
Evergreen Tree Planting on Slope

N.T.S. Source: VHB 1/16 REV LD_605



Flagpole Footing

N.T.S. Source: VHB 9/21 LD_

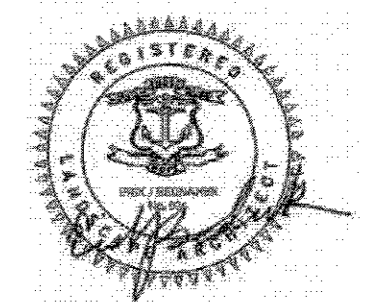


Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appvd.

Designed by: SC Checked by: EB
Issued for: **Permits** Date: **June 16, 2023**

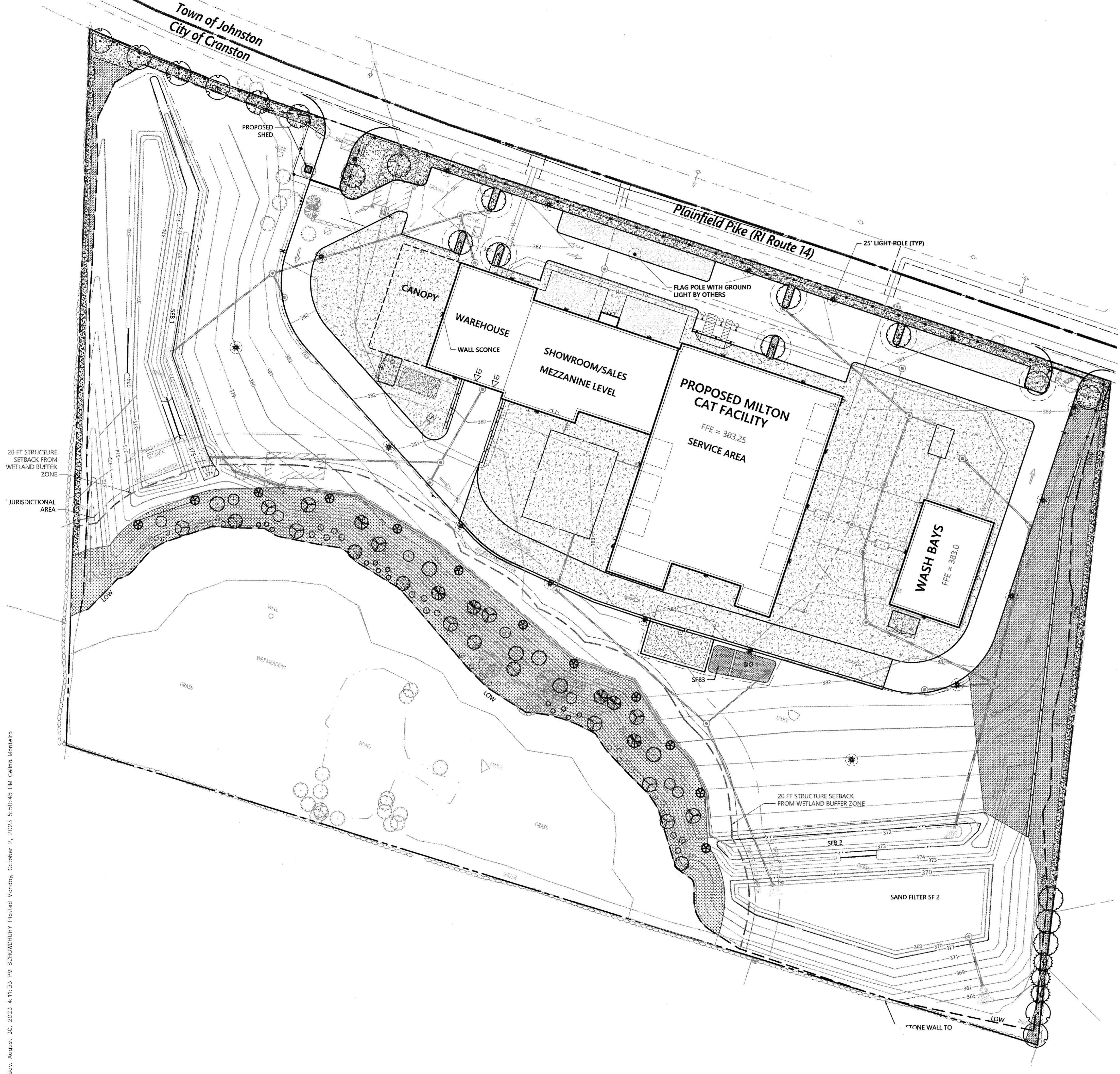
Not approved for Construction
Drawing Title: **Planting Details**
Drawing Number: **L2.02**



L2.02

Sheet 3 of 3

Project Number: **73375.00**



Wetland Seed Mix
Total Area: 652 SF

Lighting Notes

1. FINAL PHOTOMETRIC PLAN TO BE PROVIDED DURING PERMITTING PROCESS.

BEACON
VIPER Area/Site

Wetland Seed Mix

Total Area: 652 SF

Current@

BEACON
TRVERSE

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
100	100W LED Flood Light	1	each	
200	200W LED Flood Light	1	each	
300	300W LED Flood Light	1	each	
400	400W LED Flood Light	1	each	
500	500W LED Flood Light	1	each	
600	600W LED Flood Light	1	each	
700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

Current@

BEACON
TRVERSE

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
100	100W LED Flood Light	1	each	
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300	300W LED Flood Light	1	each	
400	400W LED Flood Light	1	each	
500	500W LED Flood Light	1	each	
600	600W LED Flood Light	1	each	
700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

Current@

BEACON
TRVERSE

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
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700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

Current@



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

BEACON
VIPER Area/Site

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
100	100W LED Flood Light	1	each	
200	200W LED Flood Light	1	each	
300	300W LED Flood Light	1	each	
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500	500W LED Flood Light	1	each	
600	600W LED Flood Light	1	each	
700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

Current@

BEACON
TRVERSE

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
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700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

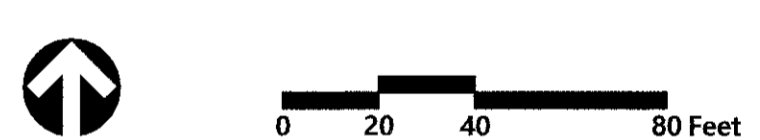
Current@

BEACON
TRVERSE

ORDERING GUIDE

Code	Description	Qty	Unit	Notes
100	100W LED Flood Light	1	each	
200	200W LED Flood Light	1	each	
300	300W LED Flood Light	1	each	
400	400W LED Flood Light	1	each	
500	500W LED Flood Light	1	each	
600	600W LED Flood Light	1	each	
700	700W LED Flood Light	1	each	
800	800W LED Flood Light	1	each	
900	900W LED Flood Light	1	each	
1000	1000W LED Flood Light	1	each	

Current@



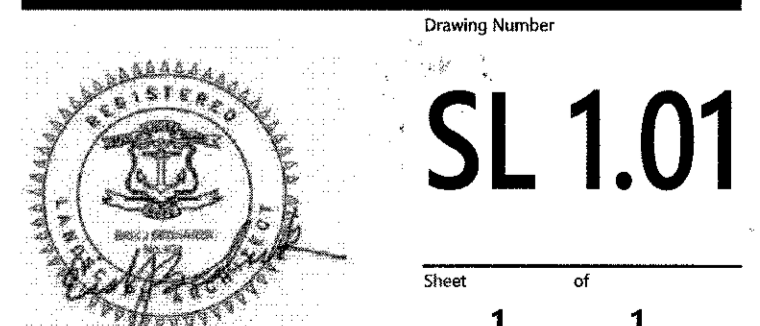
Milton CAT

2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appr.
1	RIDOT PAPA Response to Comments	8/22/2023	

Designed by: SC
Checked by: EB
Issued for: Permits
Date: June 16, 2023

Not approved for Construction
Site Lighting Plan



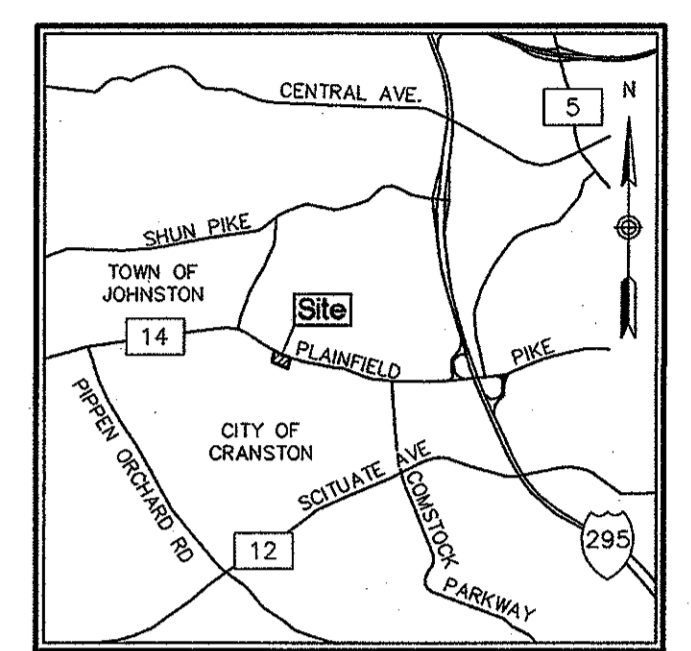
SL 1.01

Sheet 1 of 1

Project Number: 73375.00

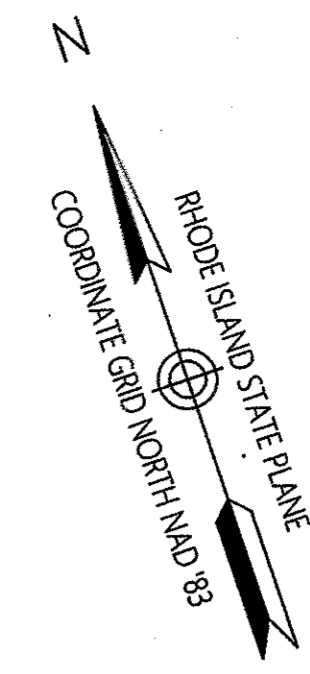


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Locus Map
(NOT TO SCALE)

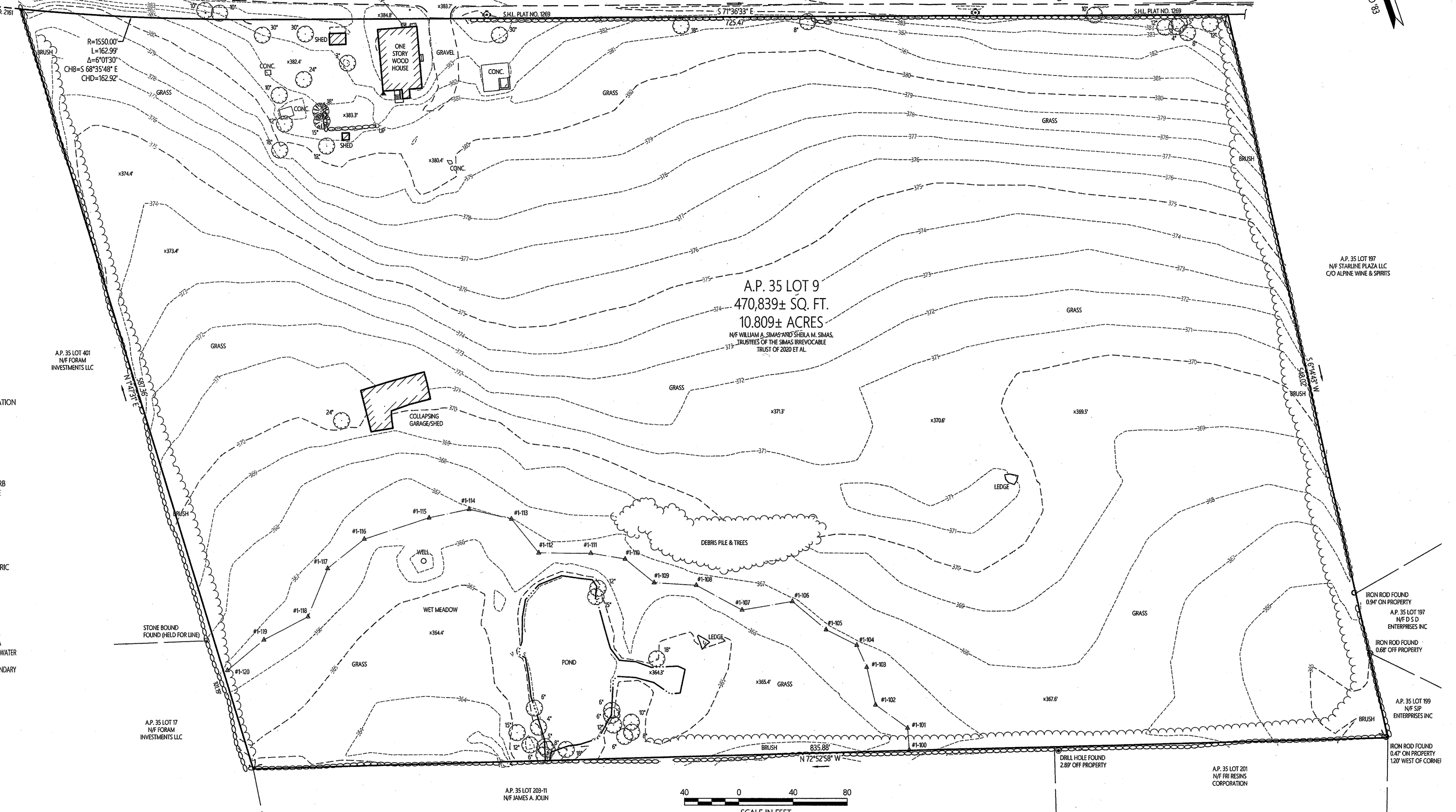
PLAINFIELD PIKE (RT. 14)
(PUBLIC - VARIABLE WIDTH)



BENCHMARK:
NAIL SET IN UTILITY
LIGHT POLE #412
ELEV.=384.00'
NAVD '88

BENCHMARK:
NAIL SET IN UTILITY
LIGHT POLE #408
ELEV.=386.76'
NAVD '88

- Legend**
- ⊕ DRAIN MANHOLE
 - ⊕ CATCH BASIN
 - ⊕ SEWER MANHOLE
 - ⊕ ELECTRIC MANHOLE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ MANHOLE
 - ⊕ HAND HOLE
 - ⊕ WATER GATE
 - ⊕ FIRE HYDRANT
 - ⊕ GAS GATE
 - ⊕ BOLLARD
 - ⊕ BOLLARD w/LIGHT
 - ⊕ STREET SIGN
 - ⊕ LIGHT POLE
 - ⊕ UTILITY POLE
 - ⊕ GUY POLE
 - ⊕ GUY WIRE
 - ⊕ MONITORING WELL
 - ⊕ FLOOD LIGHT
 - ⊕ PEDESTRIAN SIGNAL
 - ⊕ MAST ARM
 - ⊕ FLASHING SIGNAL
 - ⊕ WELL
 - ⊕ MARSH
 - ⊕ F.F.E.=45.27'
 - ⊕ FINISHED FLOOR ELEVATION
 - ⊕ COULD NOT OPEN
 - ⊕ NPV NO PIPES VISIBLE
 - ⊕ DYL DOUBLE YELLOW LINE
 - ⊕ DWL DASHED WHITE LINE
 - ⊕ SYL SINGLE YELLOW LINE
 - ⊕ LSA LANDSCAPED AREA
 - ⊕ EDGE OF PAVEMENT
 - ⊕ CONCRETE CURB
 - ⊕ VERTICAL GRANITE CURB
 - ⊕ SLOPED GRANITE EDGE
 - ⊕ BITUMINOUS BERM
 - ⊕ BITUMINOUS CURB
 - ⊕ GUARD RAIL
 - ⊕ CHAIN LINK FENCE
 - ⊕ DRAINAGE LINE
 - ⊕ SEWER LINE
 - ⊕ OVERHEAD WIRE
 - ⊕ UNDERGROUND ELECTRIC
 - ⊕ TELEPHONE LINE
 - ⊕ GAS LINE
 - ⊕ WATER LINE
 - ⊕ STONE WALL
 - ⊕ TREE LINE
 - ⊕ 100-FT BUFFER ZONE
 - ⊕ 100-FT RIVER FRONT AREA
 - ⊕ 200-FT RIVER FRONT AREA
 - ⊕ LIMIT MEAN ANNUAL HIGH WATER
 - ⊕ LIMIT OF BANK
 - ⊕ VEGETATED WETLAND BOUNDARY



A.P. 35 LOT 9
470,839± SQ. FT.
10.809± ACRES
N/F WILLIAM A. SIMAS AND SHEILA M. SIMAS
TRUSTEES OF THE SIMAS IRREVOCABLE
TRUST OF 2020 ET AL.



Plan References

- PLAT PLAN OF THE COMMONS INDUSTRIAL PARK AP 35 & LOT 16 & PART OF LOTS 6 & 10 CRANSTON RHODE ISLAND OWNED BY PHILLIPS ASSOCIATES INC. DATED AUGUST 88. PLAT CARD 573.
- RI RESOURCE RECOVERY CORP. 65 SHUN PIKE JOHNSTON, RHODE ISLAND LOT 17 A.P. 35 FINAL PLAN LAST REVISED 01/05/07. MAP 597.

General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER, 2022 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER, 2022.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB IN OCTOBER, 2022.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.

Commonwealth Land Title Insurance Company

Commitment Number:
Effective Date: October 28, 2022
Exhibit A Description

A CERTAIN TRACT OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN SAID CRANSTON COMMONLY KNOWN AS THE SINE STEPHENS PLACE BOUNDED WESTERLY BY LAND OF JEREMIAH KNIGHT ESTATE NOW OR LATELY THE ESTATE OF ABRAHAM A. WATERMAN, ON WHICH IT MEASURES 36 RODS 8 INCHES, SOUTHERLY BY LAND NOW OR LATELY OF WILLIAM FENNER ON WHICH IT MEASURES 13 RODS 5 FEET, EASTERLY BY LAND OF JOSHUA BEATTIE NOW OR LATELY THE ANTHONY MATHEWSON ESTATE ON WHICH IT MEASURES 34 RODS 9 FEET 6 INCHES AND NORTHERLY BY PLAINFIELD ROAD ON WHICH IT MEASURES 15 RODS 6 FEET, BEING THE SAME PREMISES CONVEYED TO ANTHONY MATHEWSON BY DEED OF ELISHA A. LAWTON DATED APRIL 18, 1863 AND RECORDED IN DEED BOOK NO. 43 AT PAGE 321 IN SAID CRANSTON.

AND ALSO A CERTAIN TRACT OF LAND SITUATED IN SAID CRANSTON BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING ON THE SOUTHERLY LINE OF PLAINFIELD ROAD ADJOINING THE NORTHERLY CORNER OF LAND NOW OR LATELY OF W.T. MOUNTAIN 33 RODS 9 FEET 2 INCHES TO LAND NOW OR LATELY OF WILLIAM FENNER, THENCE WESTERLY BOUNDING ON SAID FENNER'S LAND 38 RODS 2 FEET, THENCE NORTHERLY BOUNDING ON THE FIRST DESCRIBED TRACT 34 RODS 9 FEET 6 INCHES TO SAID PLAINFIELD ROAD, THENCE EASTERLY BOUNDING ON SAID ROAD 38 RODS 2 FEET TO PLACE OF BEGINNING, BEING THE SAME PREMISES CONVEYED TO ANTHONY MATHEWSON BY DEED OF JOSHUA BEATTIE DATED APRIL 4, 1867 AND RECORDED IN DEED BOOK 49 AT PAGE 159 IN SAID CRANSTON.

THESE TWO TRACTS OF LAND TOGETHER CONSTITUTE LOT 9 ON ASSessor'S PLAT NO. 35 IN SAID CITY OF CRANSTON AND ARE THE SAME PREMISES DESCRIBED IN DEED BOOK NO. 117 AT PAGE 284 IN SAID CRANSTON. EXCEPTING THERE FROM SO MUCH OF THE LAND AS TAKEN BY END DOMAIN FOR THE PURPOSES OF THE

Commonwealth Land Title Insurance Company

Commitment Number:
Effective Date: October 28, 2022
Schedule B Exceptions

- 1-8. NOT SURVEY RELATED

TO (NAME OF INSURED, (NAME OF LENDER, (NAME OF INSURER, (NAMES OF OTHERS AS NEGOTIATED):

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 4 AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 9, 2022.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- | | |
|---------------------------------|----------------------------|
| (A) TYPE OF BOUNDARY SURVEY: | MEASUREMENT SPECIFICATION: |
| LIMITED CONTENT BOUNDARY SURVEY | I |
| (B) OTHER TYPE OF SURVEY: | |
| DATA ACCUMULATION SURVEY | III |
| TOPOGRAPHIC SURVEY ACCURACY | T-2 |

(C) STATEMENT OF PURPOSE
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: DESIGN OF SITE IMPROVEMENTS AND REAL ESTATE CLOSING.

BY 10/14/22
PATRICK W. McCOURT, P.L.S. #1964
C.O.A. #A92

Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Apprd.

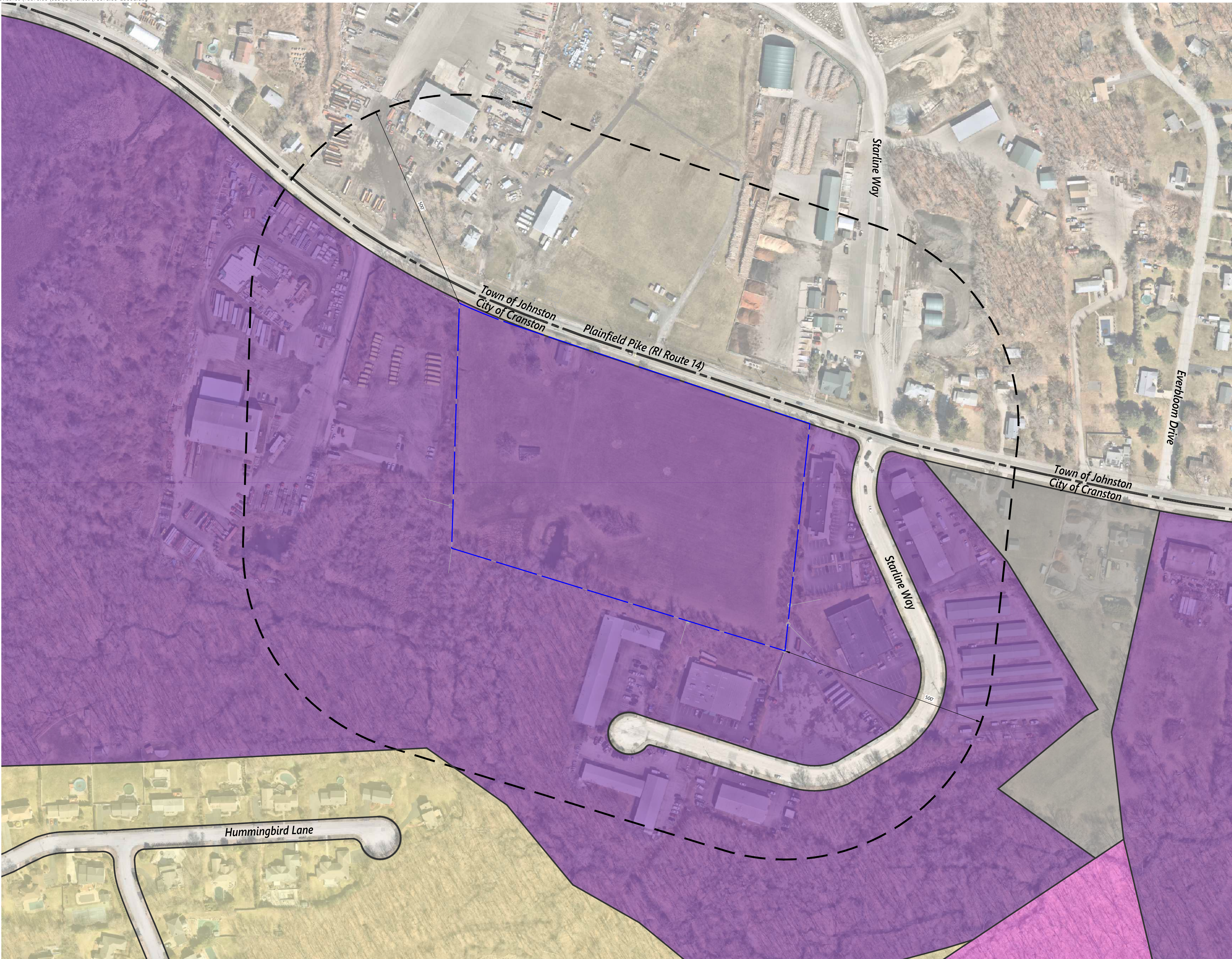
Issued for: **ALTA/NSPS Land Title Survey** Date: **October 14, 2022**







Property Line and Existing Conditions Plan
Assessor's Plat 35
Lot 9

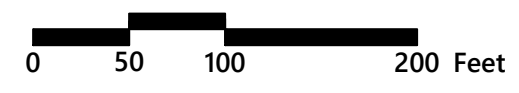
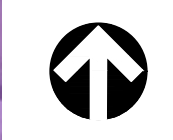
Drawing Title: **Sv-1**
Drawing Number: **1** of **1**
Project Number: **73375.00**



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



-  500 FT RADIUS
-  PROPERTY LINE
-  RESIDENTIAL A-20 ZONE
-  RESIDENTIAL A-80 ZONE
-  INDUSTRIAL M-1 ZONE
-  INDUSTRIAL M-2 ZONE



Milton CAT
2110 Plainfield Pike
Cranston, Rhode Island

No.	Revision	Date	Appr.

Designed by SAP	Checked by JR
Issued for	Date
Permits	June 16, 2023

Not Approved for Construction
Drawing Title
Locus Map

Drawing Number

LOC-1

Sheet 1 of 1

Project Number
73375.00